

Mayor Tracey Furman

**Council Member Darin Bartram
Council Member Nate Engle**



**Council Member Conor Crimmins
Council Member Ann Lichter**

Released: October 8, 2024

**Thursday, October 10, 2024
Town Council Meeting, 7:00 pm**

The Town Council Meeting will begin at 7:00 pm and be held at Town Hall and via the Zoom Video Conferencing application. Access to the meeting is available through the following link:

<https://us02web.zoom.us/j/89377050577?pwd=6LUuwKnNTvtbfVysnUdpWIK92dB4Oq.1>

Meeting ID: 893 7705 0577

Password: 883921

Or you may join the meeting by calling: +1 301 715 8592 US (Washington D.C) and entering the Meeting ID and Password above.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

MOMENT OF SILENCE

APPROVAL OF MINUTES

Town Meeting Minutes of September 10, 2024

THE MAYOR AND TOWN COUNCIL

(The Mayor and Council may move to close the meeting and may move to reopen the meeting)

1. Acknowledge:

- a. The Town will be hosting an event with Montgomery Planning on Tuesday, October 15, 2024, 7:00 – 9:00 pm, in an effort to provide further information to the community about the proposed Attainable Housing Strategies (AHS) initiative.
- b. The Mayor and Council will meet in Closed Session for a Special Town Council Meeting on Monday, October 21, 2024, pursuant to State Government Article §3-305(b)(7), "Closed Session", to consult with the Town Attorney with regards to ongoing negotiations with 10509 Summit Ventures, LLC, and the Flats at Knowles Station development project.

**Town of Kensington 3710 Mitchell Street Kensington, MD 20895
Phone 301.949.2424 Fax 301.949.4925
www.tok.md.gov**

2. **Joseph Park (3420 Plyers Mill Road):**
 - a. Discuss establishing a schedule for public comment with regards to the proposed sale of Joseph Park at 3420 Plyers Mill Road.
3. **Parking Task Force:**
 - a. Update from Council Member Lichter and Council Member Crimmins on the Parking Task Force; and discuss hiring a Transportation Consultant to conduct a Parking Study.
4. **Town Hall – Office Renovations:**
 - a. Present the proposed site plan for the office renovations at Town Hall.

THE TOWN MANAGER AND STAFF

1. **Connecticut Avenue (MD 185) ADA Sidewalk Improvement Project:**
 - a. Update on the proposed ADA Sidewalk Improvements along Connecticut Avenue by the State Highway Administration (SHA).
2. **Howard Avenue Sidewalk Installation:**
 - a. Discuss installing a sidewalk along the north side of Howard Avenue, between Connecticut Avenue and Armory Avenue.

ORDINANCES, RESOLUTIONS, AND REGULATIONS

(Ordinances, resolutions, and regulations to be introduced or adopted following appropriate procedures required by the Town Code; or resolutions that may require discussion by the Mayor and Council prior to approval)

1. **Resolution No. R-16-2024** – A Resolution of the Mayor and Town Council of Kensington Approving a Variance to allow the installation of a six-foot (6') fence within the front plane of the property located at 3417 Plyers Mill Road, in accordance with Section 5-109, "Fences, Walls and Retaining Walls", of the Town Code.
2. **Resolution No. R-17-2024** – A Resolution of the Mayor and Town Council of Kensington to Adopt the Montgomery County Hazard Mitigation Plan for 2024.
3. **Resolution No. R-18-2024** – A Resolution of the Mayor and Town Council of Kensington Authorizing a Lease Agreement with MXD Services, LLC, for the Property located at 10528 St. Paul Street, beginning November 1, 2024, and ending no later than January 31, 2025, in which the tenant agrees to pay Rent in the amount of \$6,642.64, per month.
4. **Resolution No. R-19-2024** – A Resolution of the Mayor and Town Council of Kensington Authorizing a Contract with Ecology Services Refuse & Recycling, LLC, for the term of one-year, beginning January 1, 2025, and for three additional one-year options, to provide Trash, Recycling, Yard Waste, and Bulk Trash Services.

PUBLIC APPEARANCES

(The public is invited to speak on any subject that is not a topic on tonight's agenda)

ADJOURNMENT

THE NEXT SCHEDULED MEETING(S) OF THE MAYOR AND TOWN COUNCIL WILL BE HELD:
Wednesday, November 13, 2024, 7:00 pm



The Town of Kensington
3710 Mitchell Street
Kensington, MD 20895



The Town will be hosting an event with Montgomery Planning on Tuesday, October 15, 2024, 7:00 – 9:00 pm, in an effort to provide further information to the community about the proposed Attainable Housing Strategies (AHS) initiative. Information related to the AHS initiative may be found at the link or QR code below left.



*MontgomeryPlanning.
org/planning/housing/
attainable-housing-
strategies-initiative*



*YouTube.com/@
Montgomery
Municipal
Cable/videos*

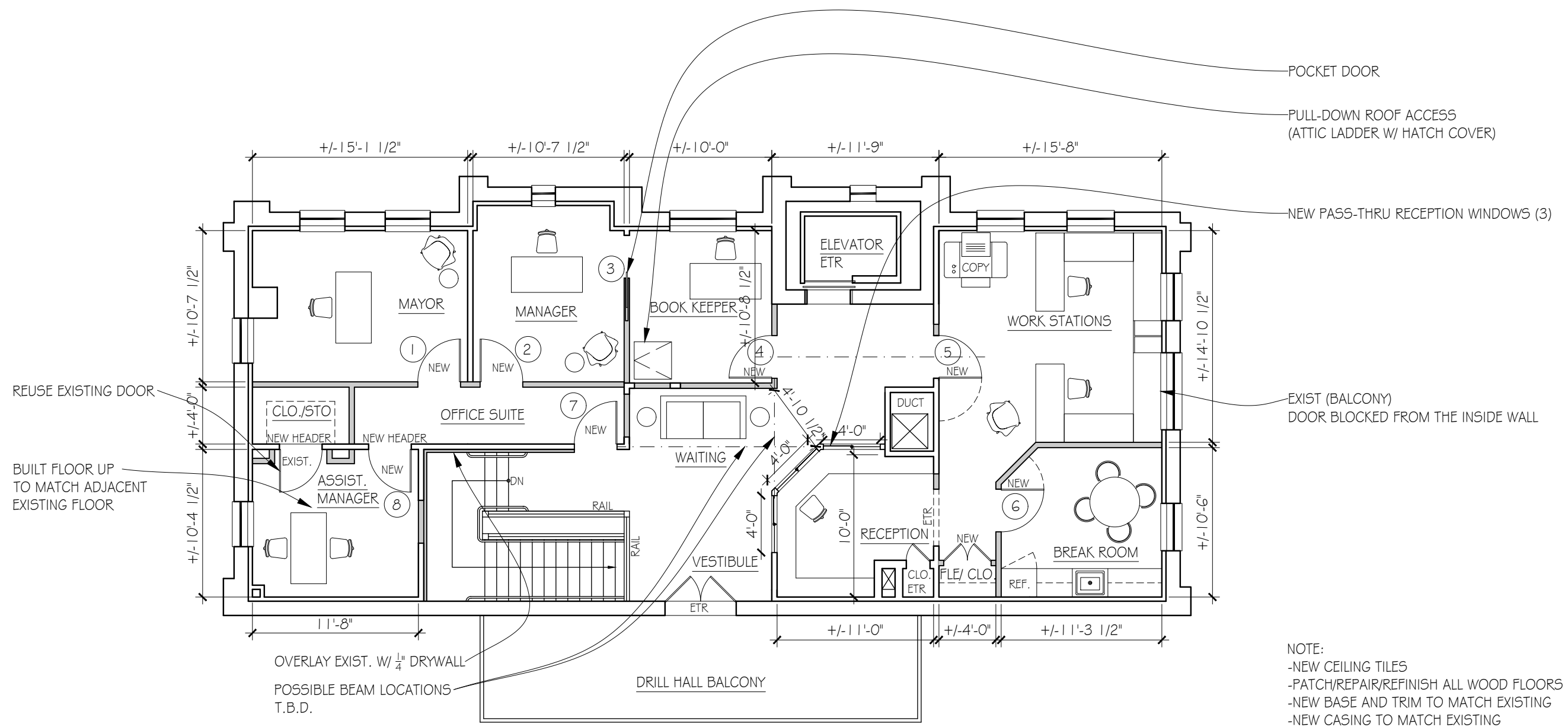
The event will be held at Town Hall (3710 Mitchell Street) and will include an overview of the AHS initiative by Lisa Govoni, Housing Planner with Montgomery Planning, along with our Mid-County Planning Chief, Carrie Sanders.

We encourage all residents to attend, to allow them an opportunity to ask questions about the proposed housing strategy from Planning staff.

If you cannot attend in person, the event will also be streamed live on Montgomery Municipal Cable's YouTube Channel, (link and QR code above right). You may submit questions in advance to alex.marini@tok.md.gov by 4pm on October 15.

Attainable Housing Strategies Initiative

SMALL SCALE	MEDIUM SCALE	LARGE SCALE
<p>Within single-family zoned neighborhoods with pattern book conformance.</p>	<p>New optional method of development allowed along growth corridors.</p>	<p>Through the master plan process or the creation of a new zone.</p>
<p>Examples: House-scale duplexes, triplexes, fourplexes</p>	<p>Examples: Stacked flats, townhouses, small apartment buildings</p>	<p>Examples: Live/work units, stacked flats, apartments, townhouses</p>
<p>Size: 2-2.5 stories</p>	<p>Size: 3-4 stories</p>	<p>Size: 4 stories and above</p>
		

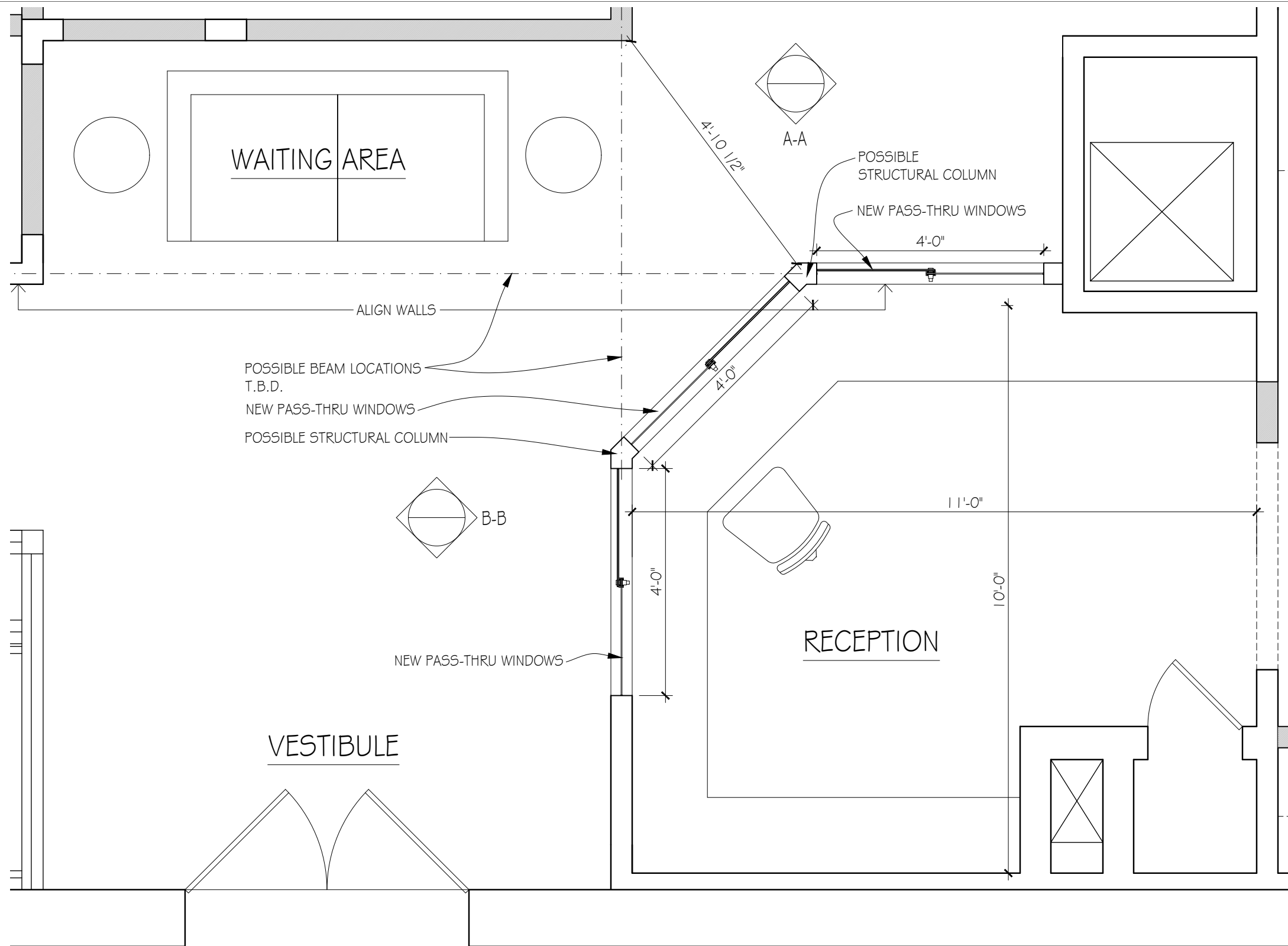


MEZZANINE OFFICE PROPOSED FLOOR PLAN

PROJECT: 24.035
 SCALE: 1/8" = 1'-0"
 DATE: 09/30/24
 DRAWN BY: AA

KENSINGTON TOWN HALL
 3710 MITCHELL ST.
 KENSINGTON, MD 20895

upton
 ARCHITECTURE
 4524 Saul Road
 Kensington, MD 20895
 301-646-3606
 mgu@uptonarchitecture.com

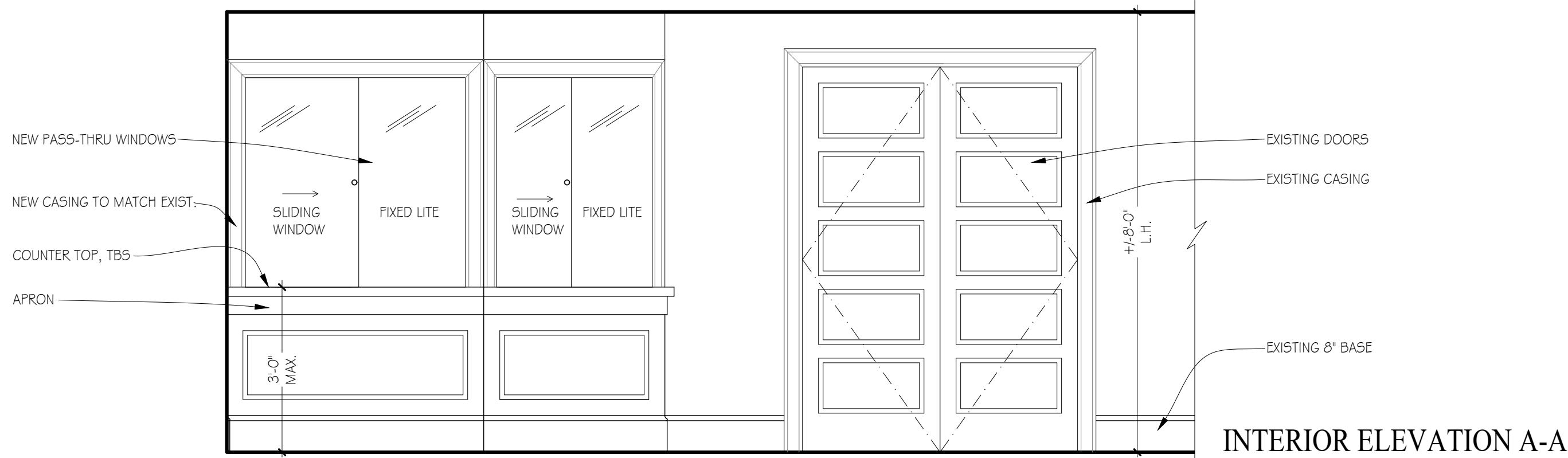


ENLARGED RECEPTION AREA

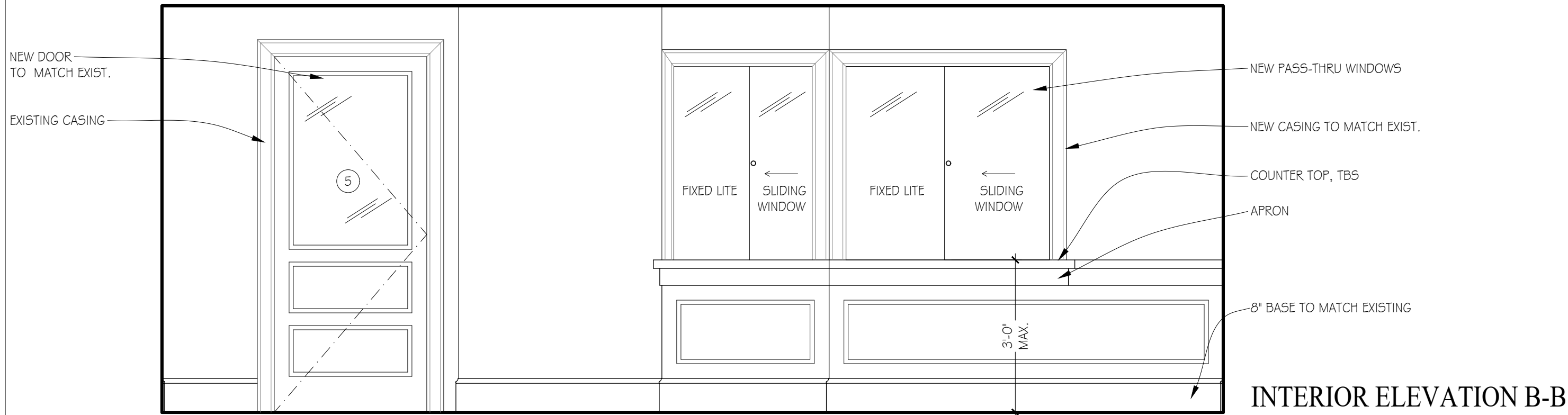
KENSINGTON TOWN HALL
 3710 MITCHELL ST.
 KENSINGTON, MD 20895

PROJECT: 24.035
 SCALE: 1/2" = 1'-0"
 DATE: 09/30/24
 DRAWN BY: AA

upton
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 Kensington, MD 20895
 301-646-3606
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INTERIOR ELEVATION A-A

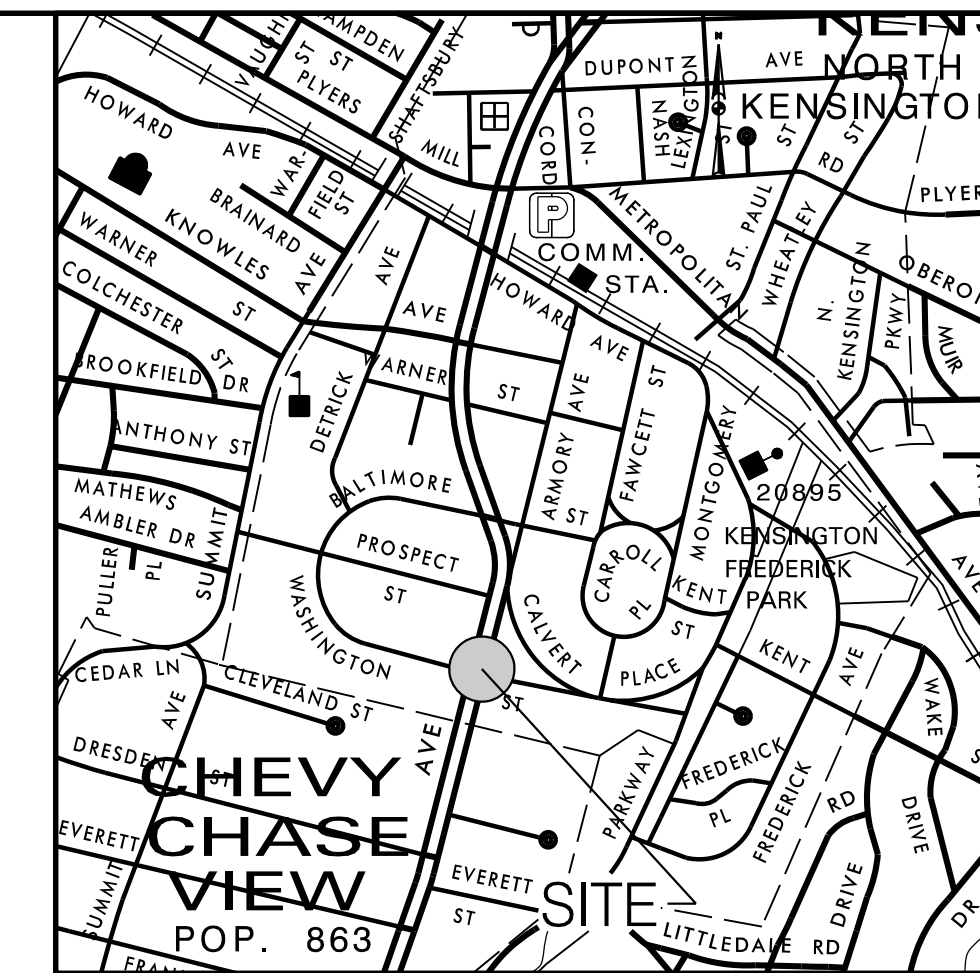


INTERIOR ELEVATION B-B

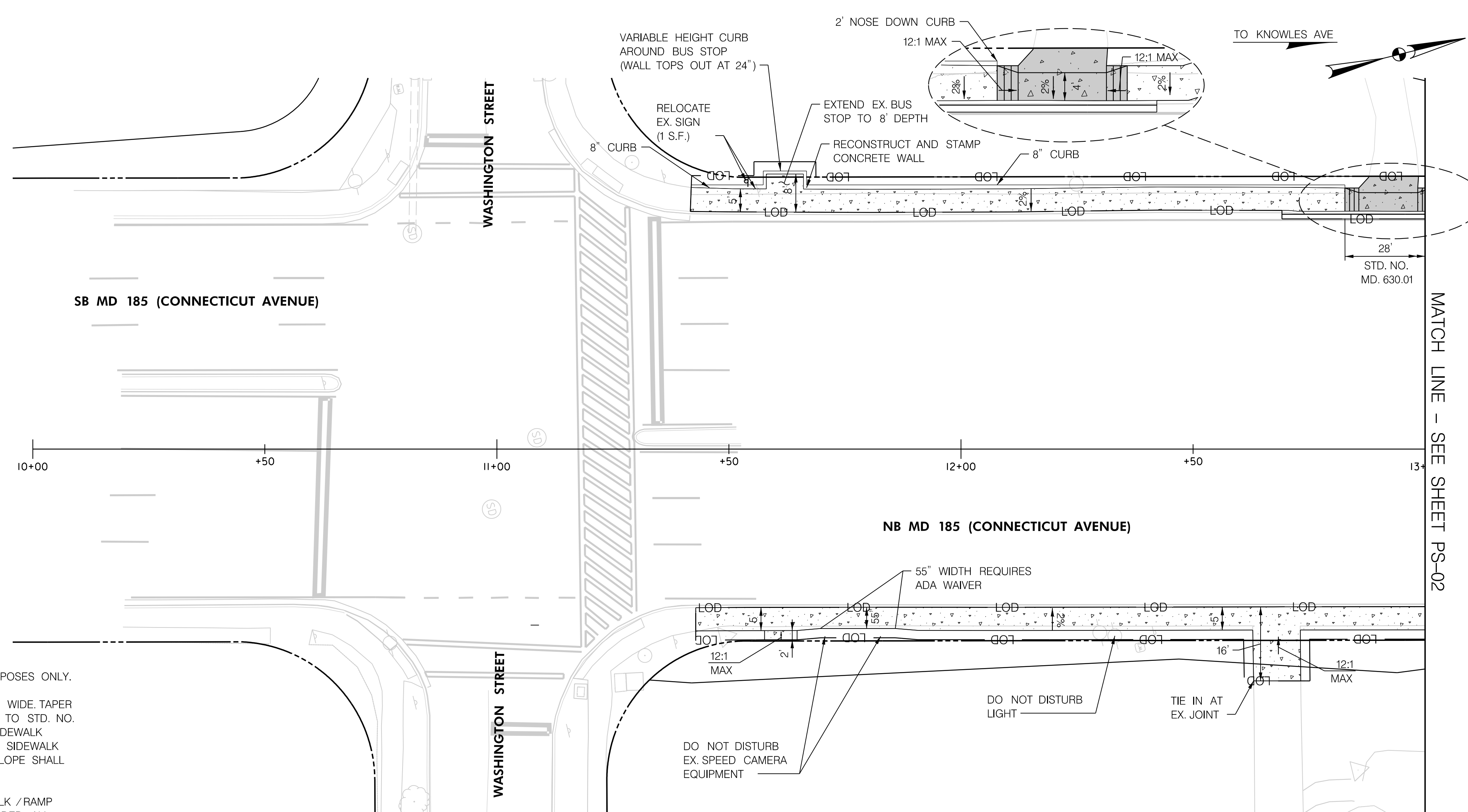
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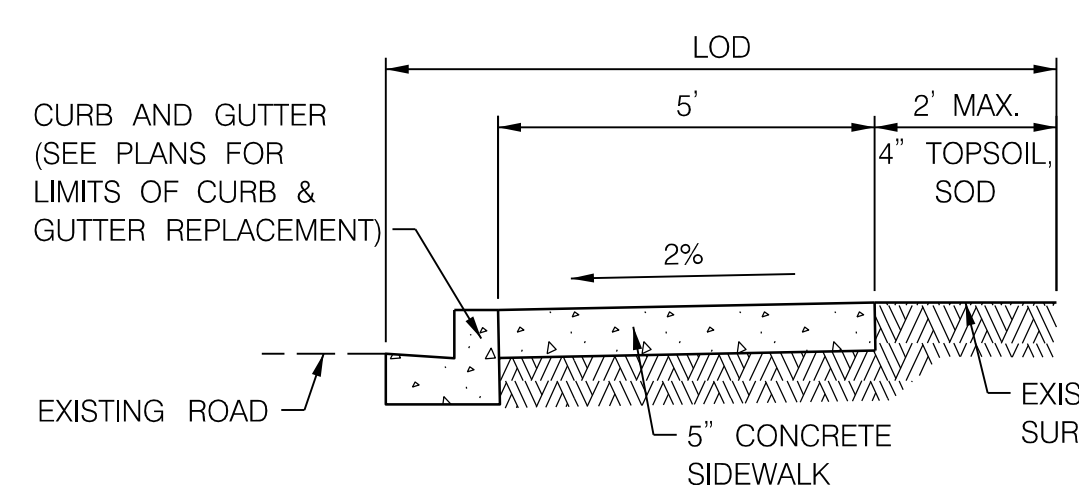
LOCATION MAP
SCALE: 1" = 2000'



MATCH LINE - SEE SHEET PS-02

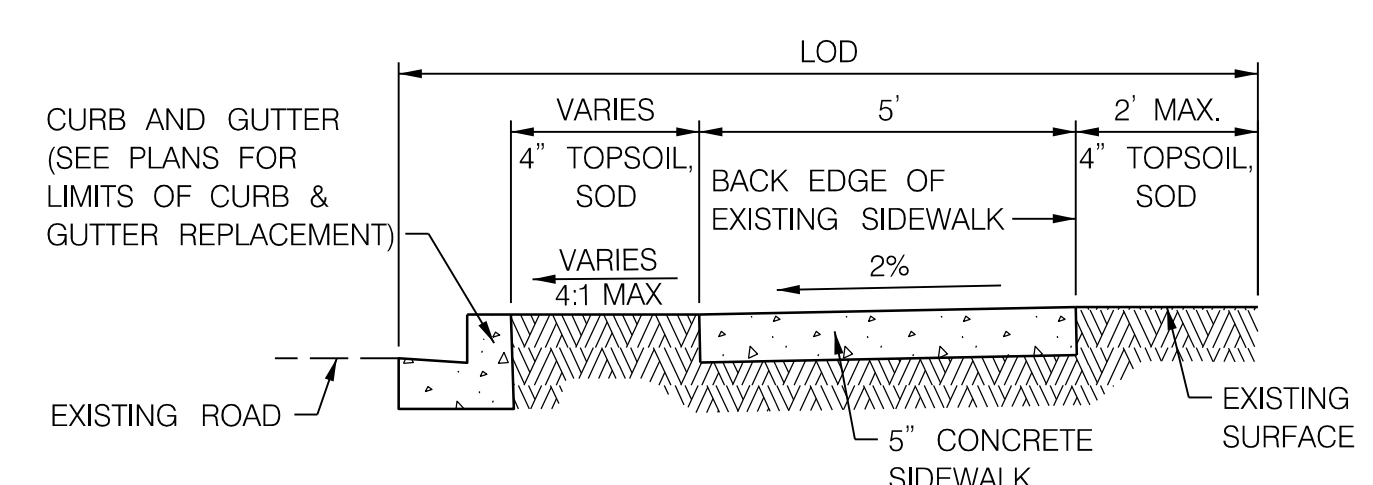
- MAINTENANCE OF TRAFFIC NOTES:
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOT STANDARDS MD 104.00-01 THRU 106.03. ALL LANE CLOSURES SHALL OCCUR BETWEEN THE HOURS OF 9AM AND 3PM.
 - NO WORK IS TO BEGIN UNTIL ALL ADVANCE WARNING SIGNS, DRUMS AND ARROW PANELS ARE IN PLACE AND OPERATIONAL.
 - ADVANCED NOTIFICATION OF SIDEWALK CLOSURES SHALL BE PROVIDED. A BARRIER THAT IS DETECTABLE BY A PERSON WITH A VISUAL DISABILITY SHALL BE PLACED ACROSS THE FULL WIDTH OF THE CLOSED SIDEWALK.
 - WHERE PEDESTRIANS ARE DIRECTED TO CROSS TO THE OPPOSITE SIDE OF THE ROADWAY, APPROPRIATE ADVANCED SIGNING SHOULD BE PLACED AT THE INTERSECTIONS RATHER THAN MID-BLOCK CROSSINGS.
 - TRAFFIC CONTROL DEVICES AND OTHER CONSTRUCTION MATERIALS AND FEATURES SHALL NOT INTRUDE INTO THE USABLE WIDTH OF THE SIDEWALK, TEMPORARY PATHWAY OR OTHER PEDESTRIAN FACILITY.

- GENERAL NOTES:
- BASELINE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 - ALL SIDEWALK AND RAMPS SHALL BE 60" WIDE TAPER SIDEWALK TO EXISTING IN ACCORDANCE TO STD. NO. MD 655.02 UNLESS NOTED OTHERWISE. SIDEWALK CROSS SLOPE SHALL BE 2%. WHERE THE SIDEWALK TRANSITIONS TO EXISTING THE CROSS SLOPE SHALL TRANSITION TO EXISTING OVER 5'.
 - ALL DISTURBED AREAS BETWEEN SIDEWALK / RAMP AND CURB OR PAVEMENT SHALL BE SODDED. ALL DISTURBED AREAS CONTIGUOUS WITH THE SIDEWALK / RAMP SHALL BE SODDED WITH A 2" STRIP OF SOD ALONG THE EDGE OF THE SIDEWALK / RAMP. SOD SHALL RECEIVE ADDITIONAL WATERING.
 - ALL DISTURBED AREAS BEYOND 2' FROM THE EDGE OF SIDEWALK / RAMP SHALL RECEIVE 4" TOPSOIL AND SOD.
 - REFER TO ES-01 FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS.
 - SEDIMENT AND EROSION CONTROL REGULATIONS WILL BE STRICTLY ENFORCED DURING CONSTRUCTION.
 - ALL DRIVEWAY ENTRANCES THAT HAVE CURB RETURNS MUST CARRY A MINIMUM 36" WIDE PEDESTRIAN PATHWAY WITH A MAXIMUM 2% CROSS-SLOPE ACROSS THE ENTIRE ENTRANCE, REGARDLESS OF WHAT MATERIAL IS USED TO CONSTRUCT THE ENTRANCE.



LIMIT OF DISTURBANCE FOR SIDEWALK CONSTRUCTION WITHOUT BUFFER
NOT TO SCALE

- NOTES:
- DIRECTION OF 2% CROSS SLOPE WILL BE CONSISTENT WITH EXISTING DRAINAGE CONDITIONS.
 - THE LIMIT OF DISTURBANCE WILL BE FROM THE BACK OF CURB TO 2' BEYOND THE EDGE OF SIDEWALK.
 - A CURB SHALL BE ADDED TO THE BACK OF THE SIDEWALK WHERE NEEDED TO PROTECT EXISTING LANDSCAPING AND WHERE THE SLOPE BEHIND THE SIDEWALK IS GREATER THAN 10 PERCENT.
 - EXISTING MULCH BEDS SHALL RETURN TO MULCH BEDS IF DISTURBED.



LIMIT OF DISTURBANCE FOR SIDEWALK CONSTRUCTION WITH BUFFER
NOT TO SCALE

- NOTES:
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 - EXISTING MULCH BEDS SHALL RETURN TO MULCH BEDS IF DISTURBED.

LEGEND

- CONCRETE SIDEWALK
- CONCRETE, BRICK & GRAVEL REMOVAL (PAID FOR AS CLASS 2 EXCAVATION)
- 8 INCH PORTLAND CEMENT CONCRETE DRIVEWAY
- DETECTABLE WARNING SURFACE
- NEW CURB
- APPROX. RIGHT OF WAY & PARCEL LINE
- LOD - LIMIT OF DISTURBANCE

MOT
MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION

INNOVATIVE CONTRACTING DIVISION
MD 185 (CONNECTICUT AVENUE)
SIDEWALK IMPROVEMENTS FROM
WASHINGTON ST TO KNOWLES AVE

CONSTRUCTION PLAN

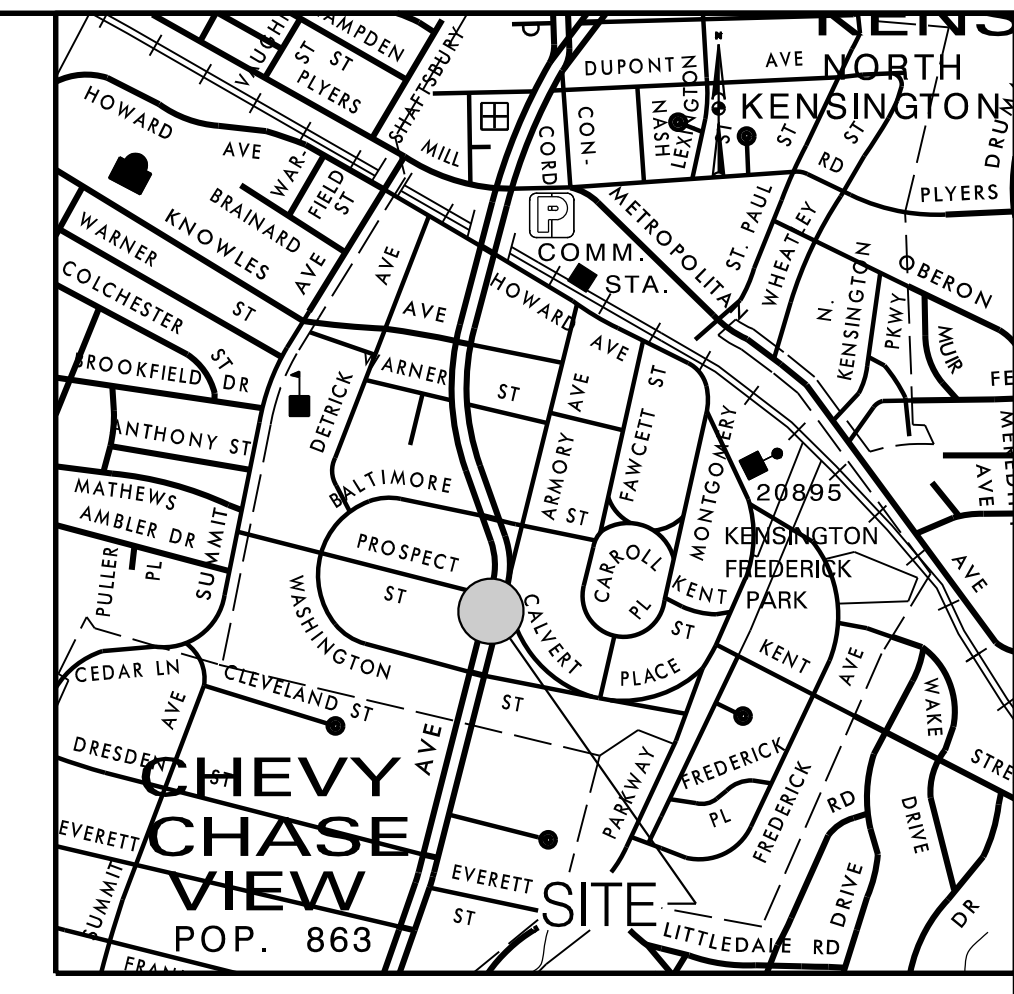
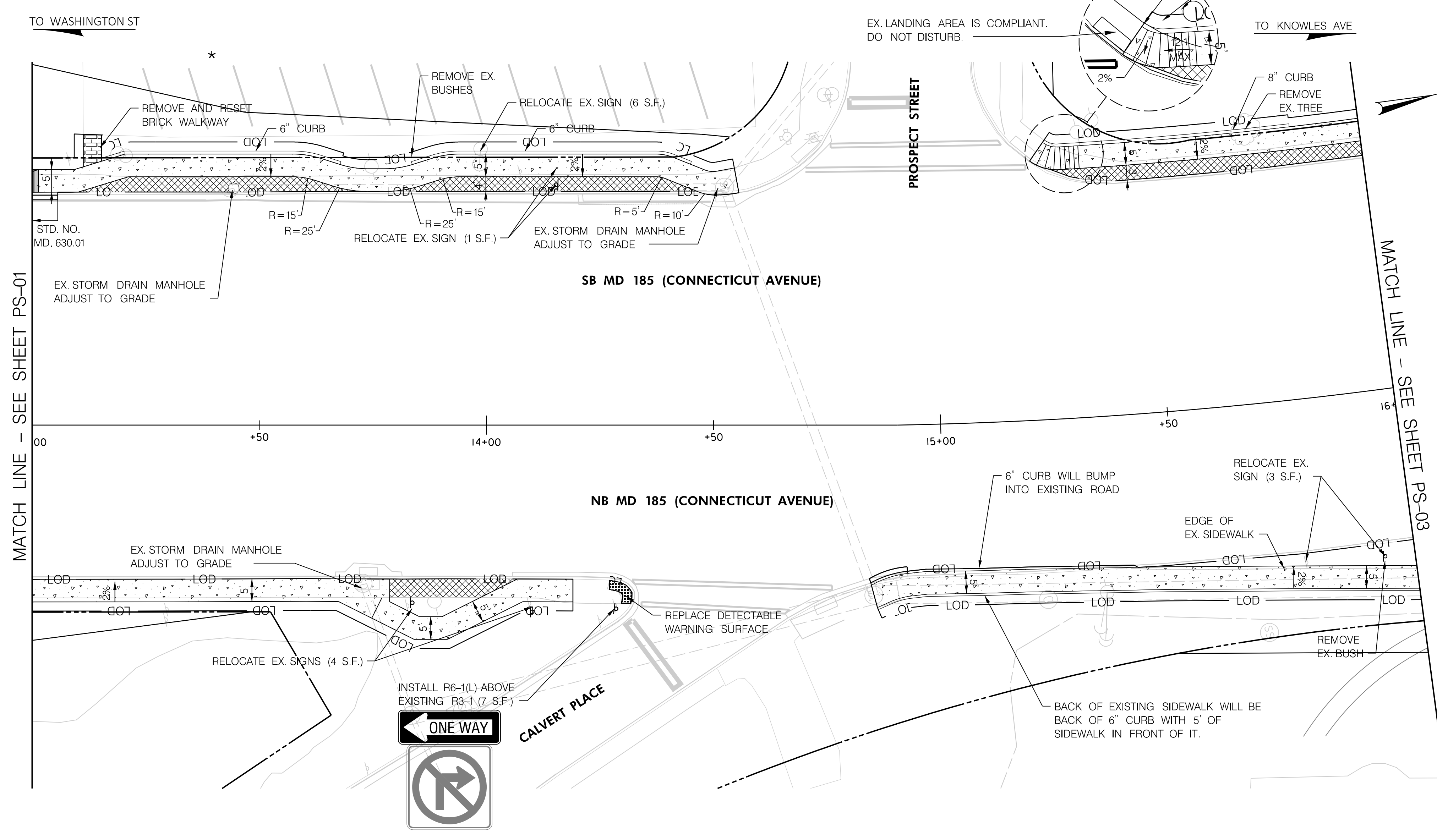
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DRAWN BY WCM LOGMILE
CHECKED BY REH HORIZONTAL SCALE
MDE/PRD SEE TITLE SHEET VERTICAL SCALE

DRAWING NO. **PS - 01** OF **07** SHEET NO. ### OF ##

WRA
Whitman, Requardt & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231

BY: wminor



- LEGEND**
- CONCRETE SIDEWALK
 - CONCRETE, BRICK & GRAVEL REMOVAL (PAID FOR AS CLASS 2 EXCAVATION)
 - 8 INCH PORTLAND CEMENT CONCRETE DRIVEWAY
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 - APPROX. RIGHT OF WAY & PARCEL LINE
 - LIMIT OF DISTURBANCE

MDOT
MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION

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SIDEWALK IMPROVEMENTS FROM WASHINGTON ST TO KNOWLES AVE

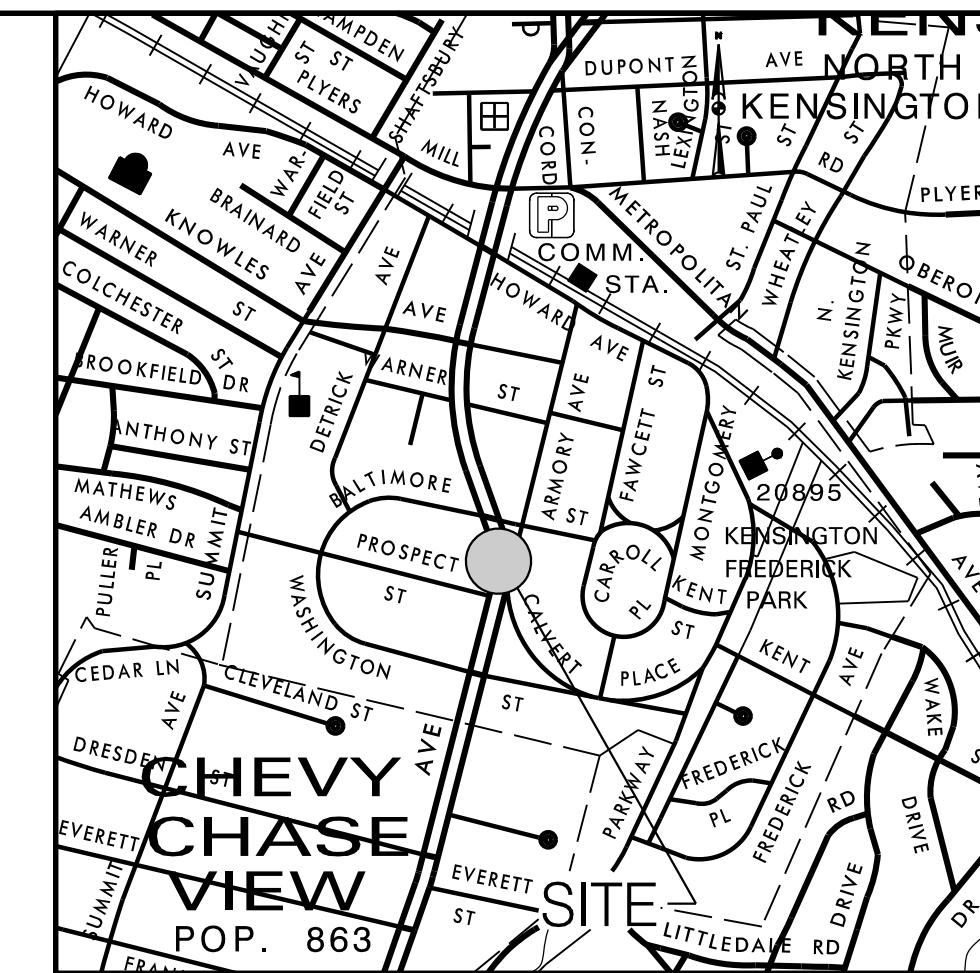
CONSTRUCTION PLAN

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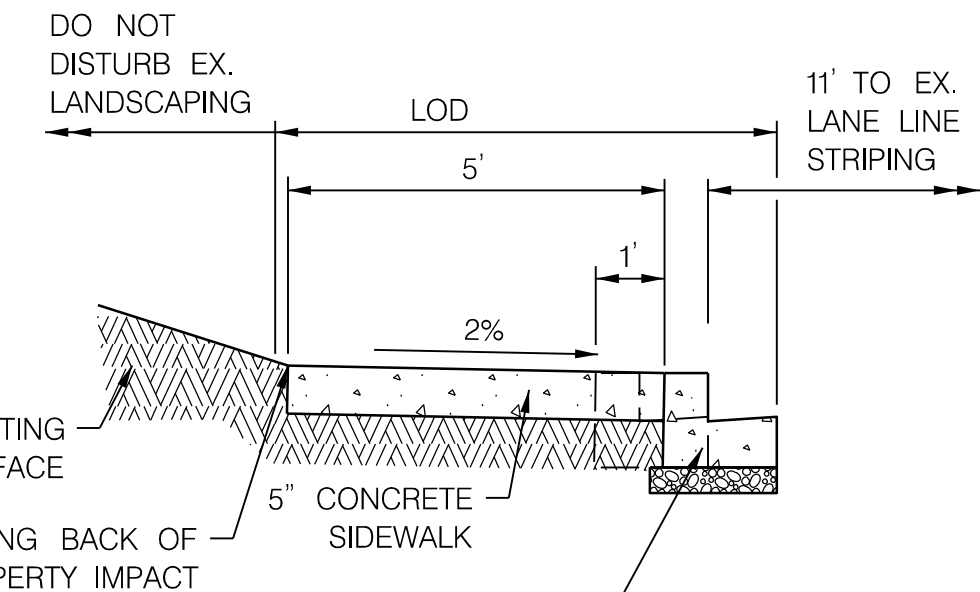
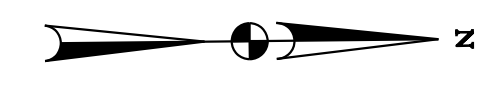
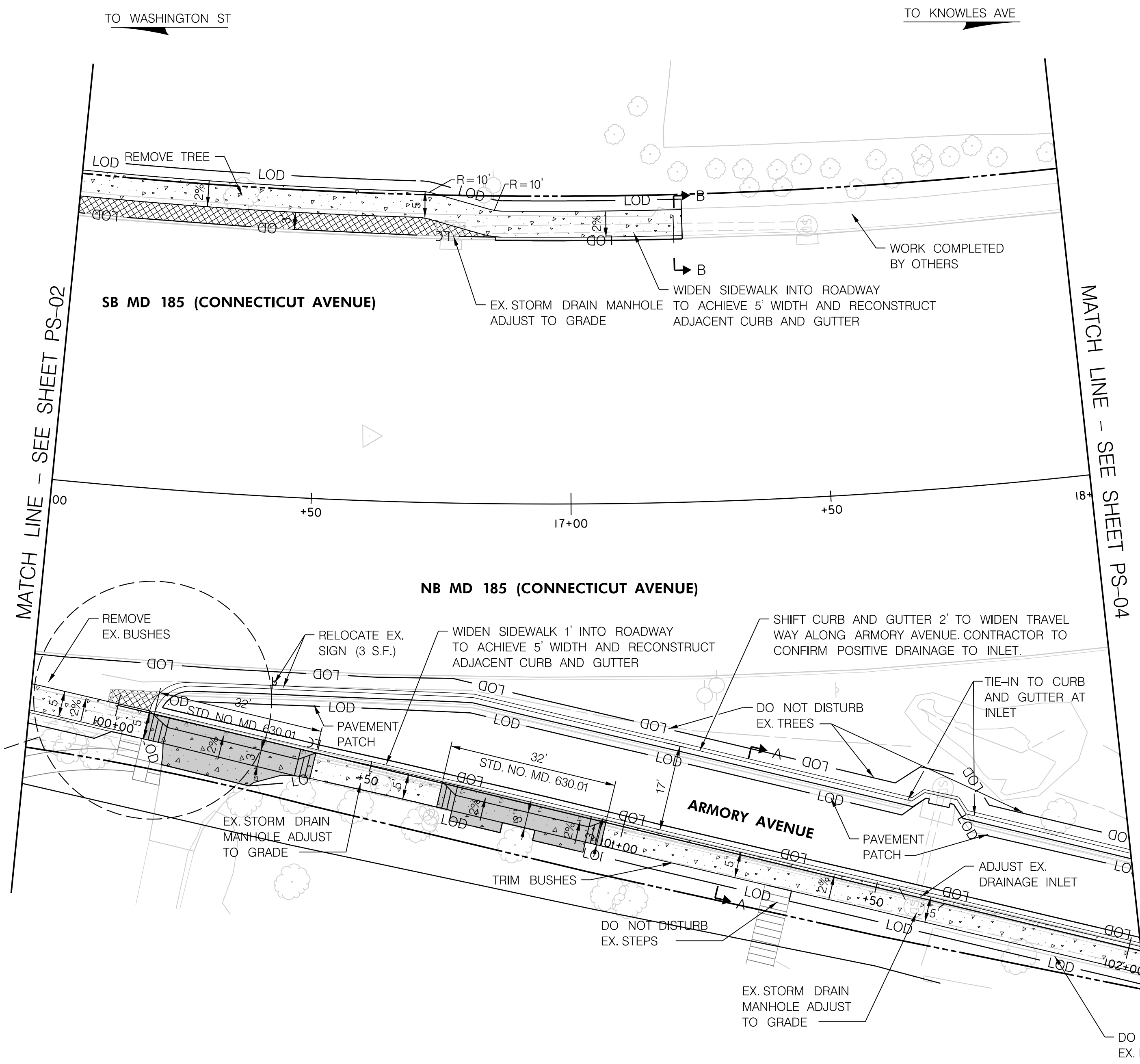
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WRA
Whitman, Requardt & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231



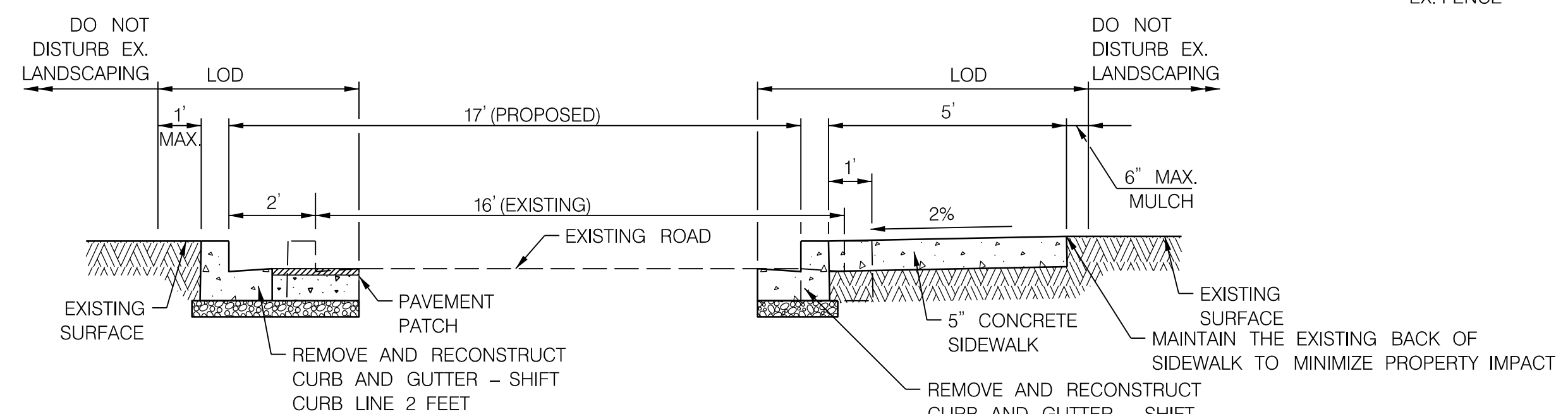
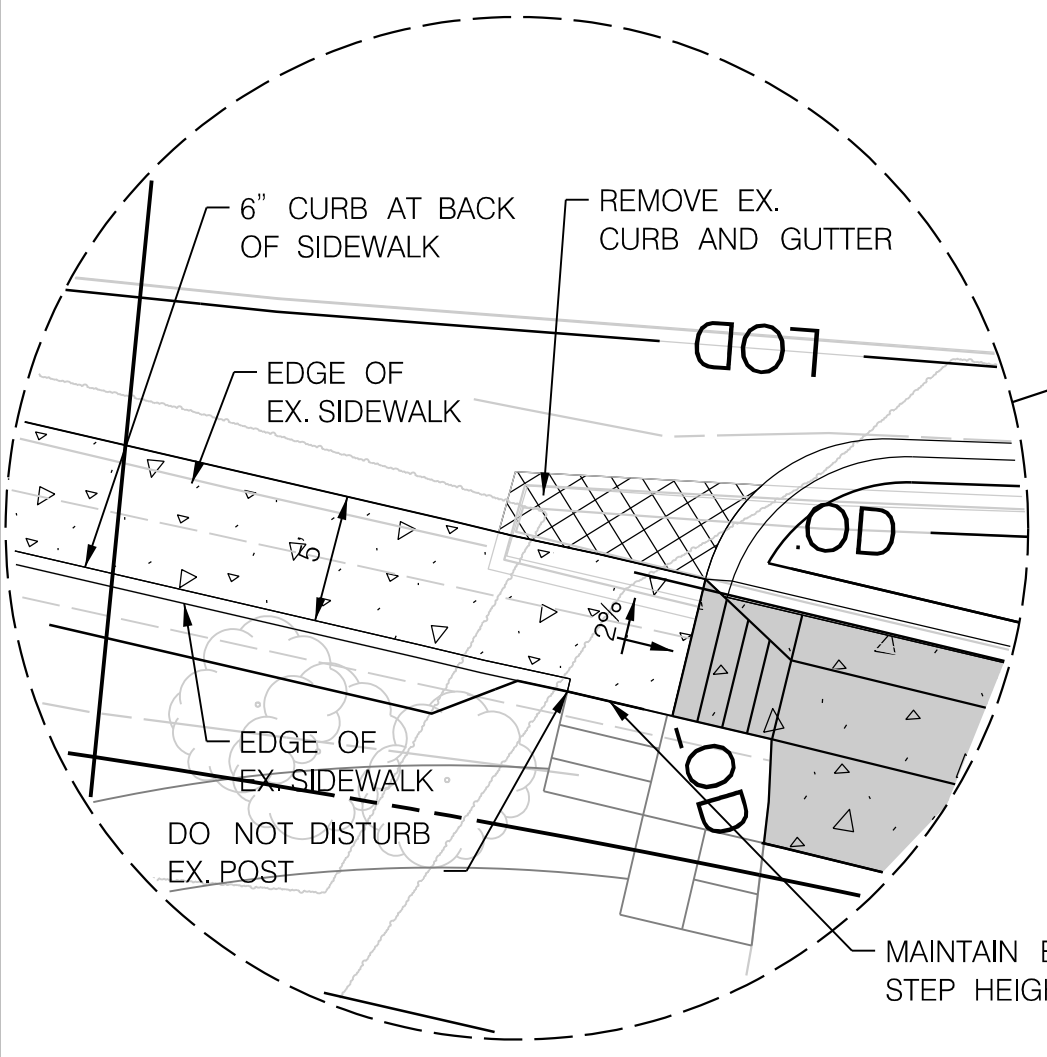
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SCALE: 1" = 2000'



SECTION B-B: SB MD 185 (CONNECTICUT AVE.)
NOT TO SCALE

LEGEND

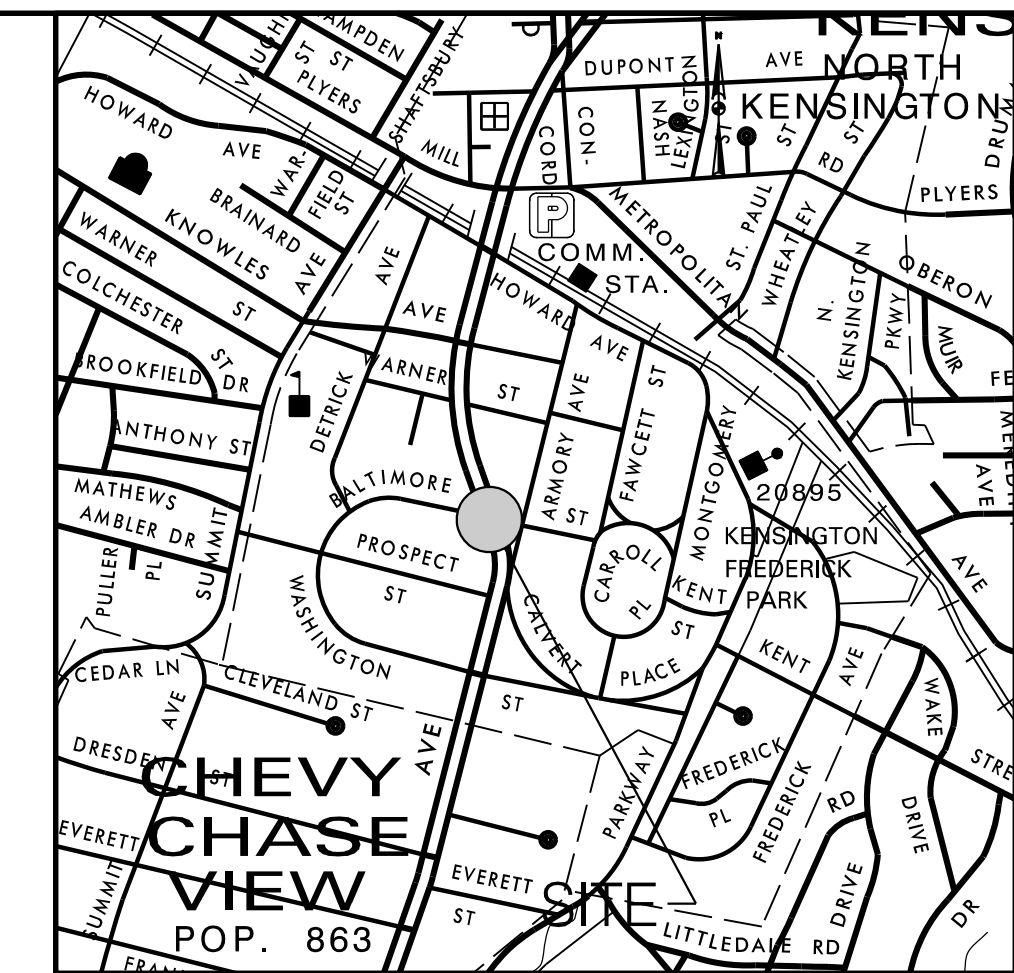
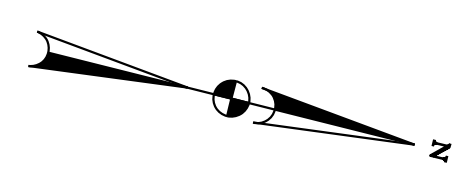
- CONCRETE SIDEWALK
- CONCRETE, BRICK & GRAVEL REMOVAL (PAID FOR AS CLASS 2 EXCAVATION)
- 8 INCH PORTLAND CEMENT CONCRETE DRIVEWAY
- DETECTABLE WARNING SURFACE
- NEW CURB
- APPROX. RIGHT OF WAY & PARCEL LINE
- LOD - LIMIT OF DISTURBANCE



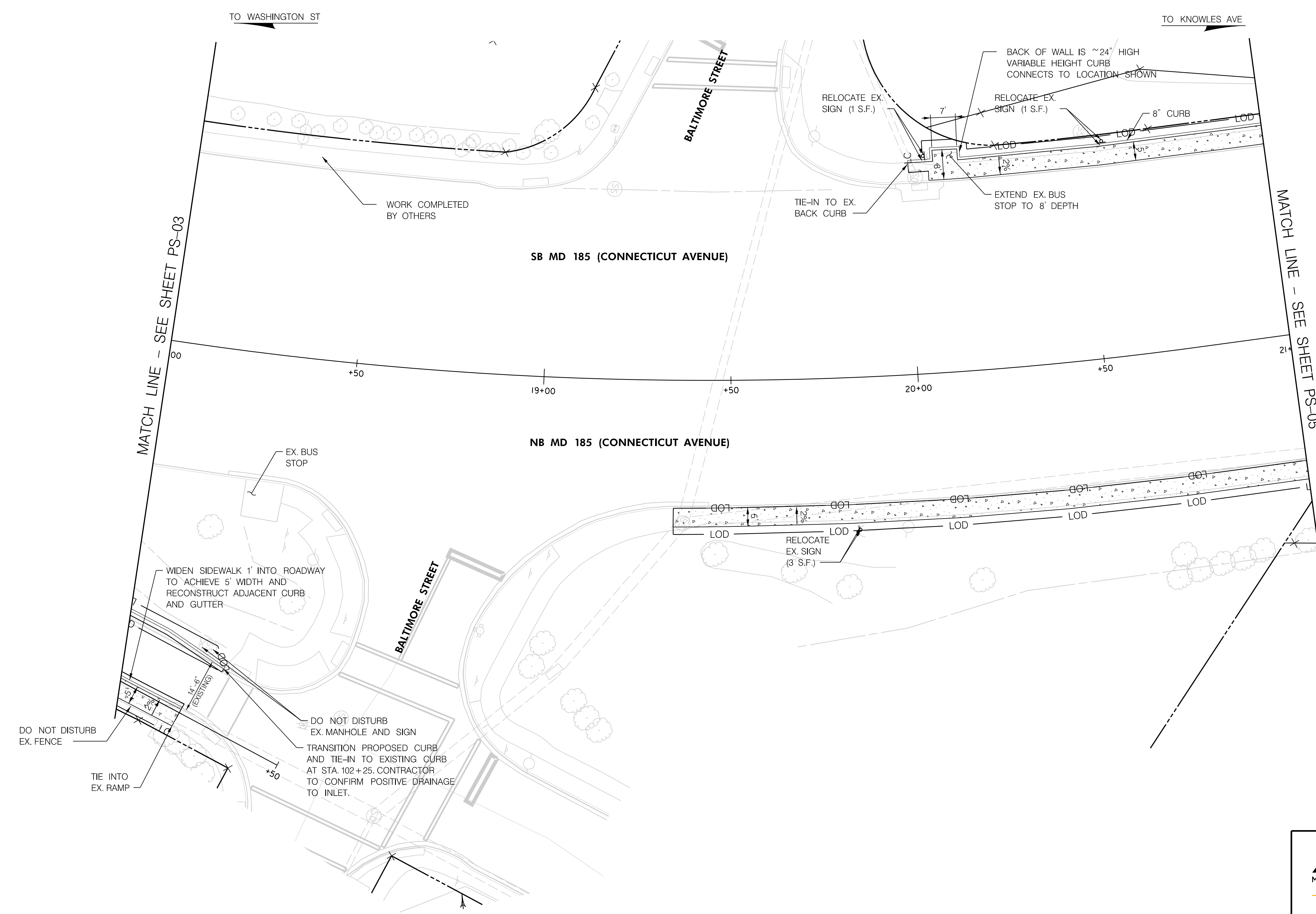
SECTION A-A: ARMORY AVENUE
NOT TO SCALE

INNOVATIVE CONTRACTING DIVISION
MDOT MARYLAND DEPARTMENT OF TRANSPORTATION
 STATE HIGHWAY ADMINISTRATION
 MD 185 (CONNECTICUT AVENUE) SIDEWALK IMPROVEMENTS FROM WASHINGTON ST TO KNOWLES AVE

CONSTRUCTION PLAN			
SCALE 1" = 30'	DATE DECEMBER 2023	CONTRACT NO. XX5355333	
DESIGNED BY WCM	COUNTY MONTGOMERY		
DRAWN BY WCM	LOGMILE		
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MDE/PRD SEE TITLE SHEET	VERTICAL SCALE		
DRAWING NO. PS - 03 OF 07	SHEET NO. ## OF ##		



LOCATION MAP
SCALE: 1" = 2000'



LEGEND

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MDOT
MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION

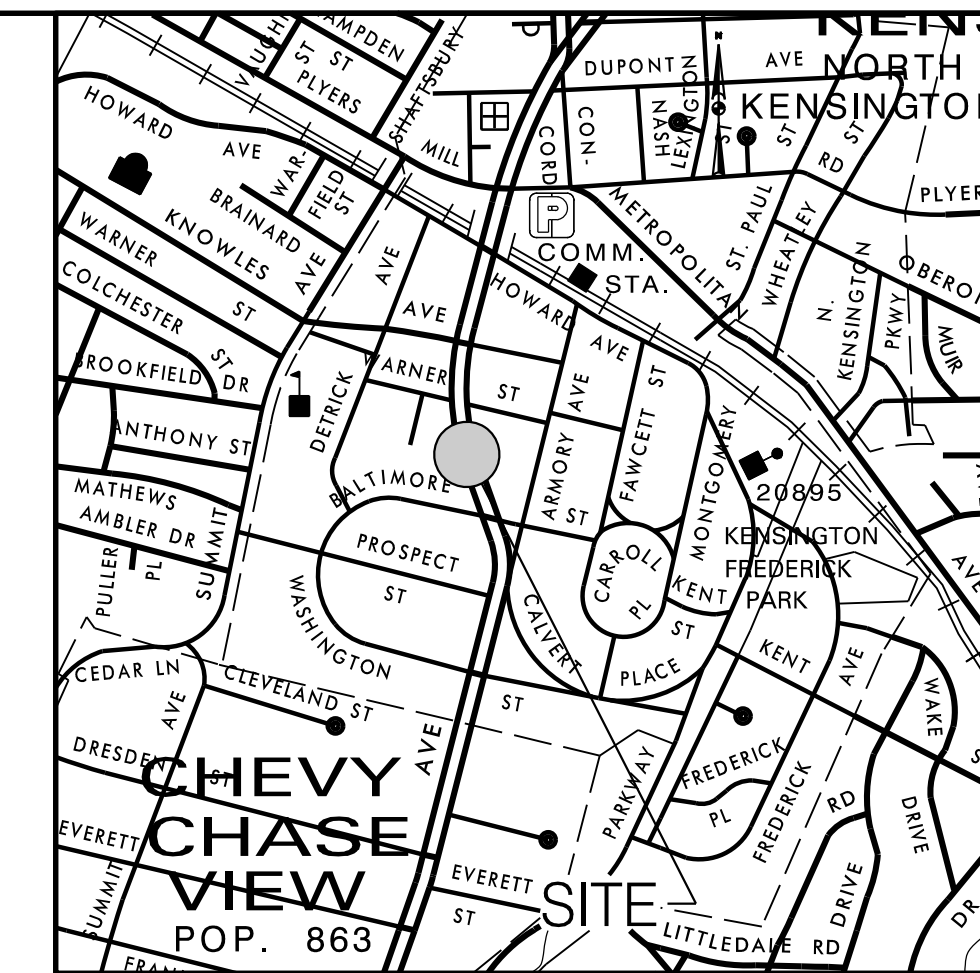
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MD 185 (CONNECTICUT AVENUE)
SIDEWALK IMPROVEMENTS FROM
WASHINGTON ST TO KNOWLES AVE

CONSTRUCTION PLAN

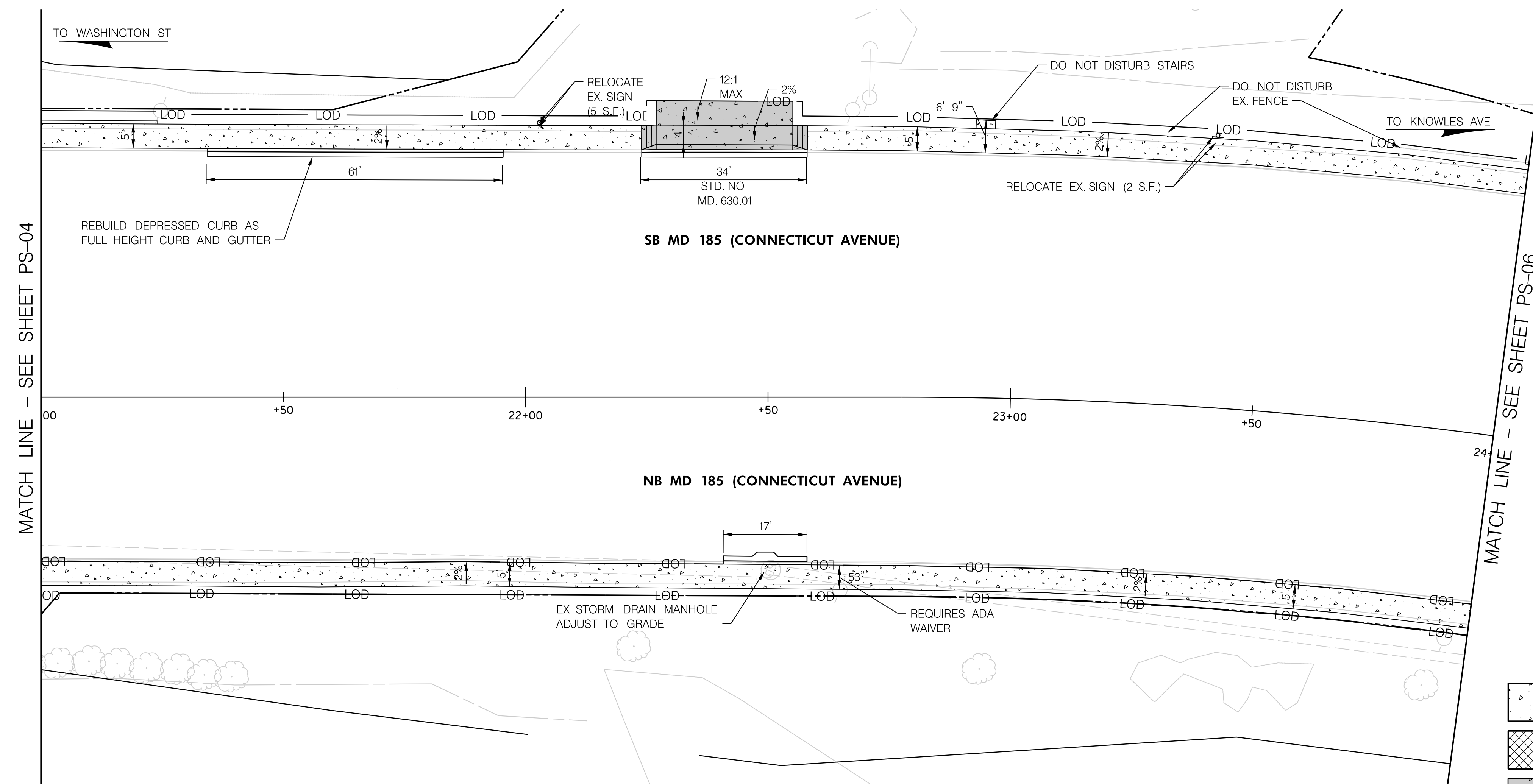
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DESIGNED BY WCM	COUNTY MONTGOMERY	
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Whitman, Requardt & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231

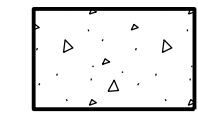
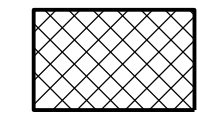
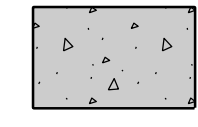
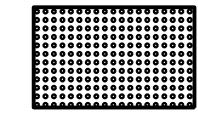
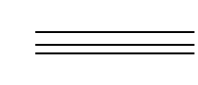
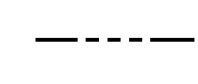



LOCATION MAP
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MATCH LINE - SEE SHEET PS-06

MATCH LINE - SEE SHEET PS-04

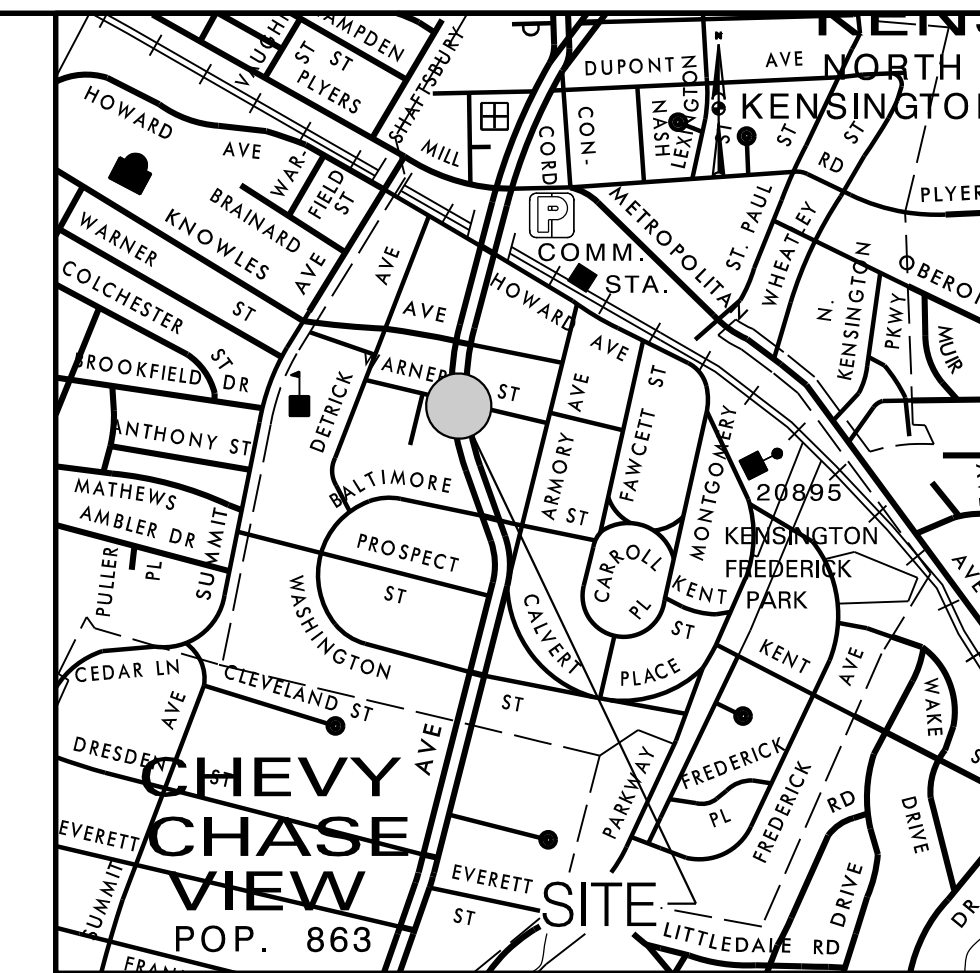
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MOT
MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION

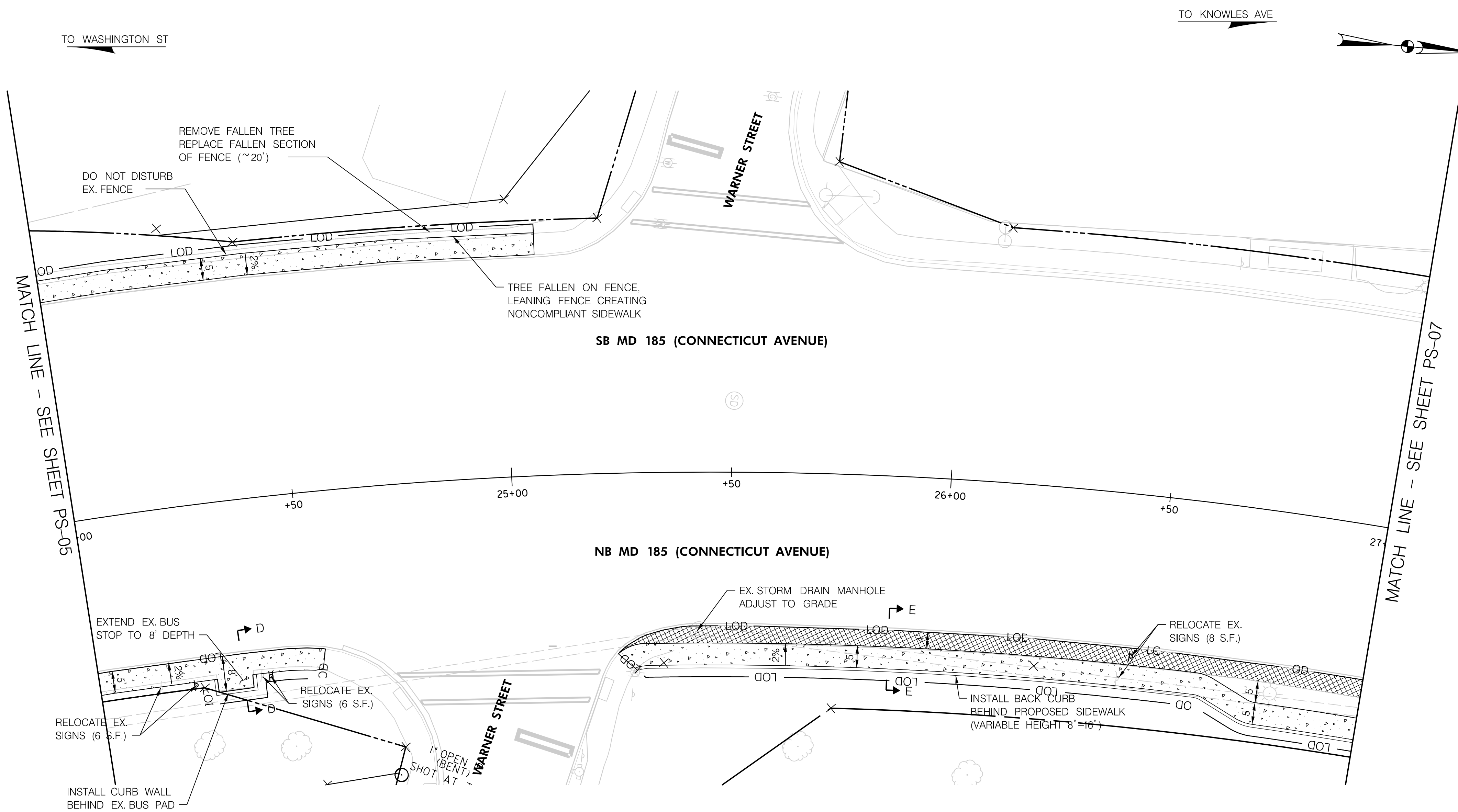
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WASHINGTON ST TO KNOWLES AVE

CONSTRUCTION PLAN			
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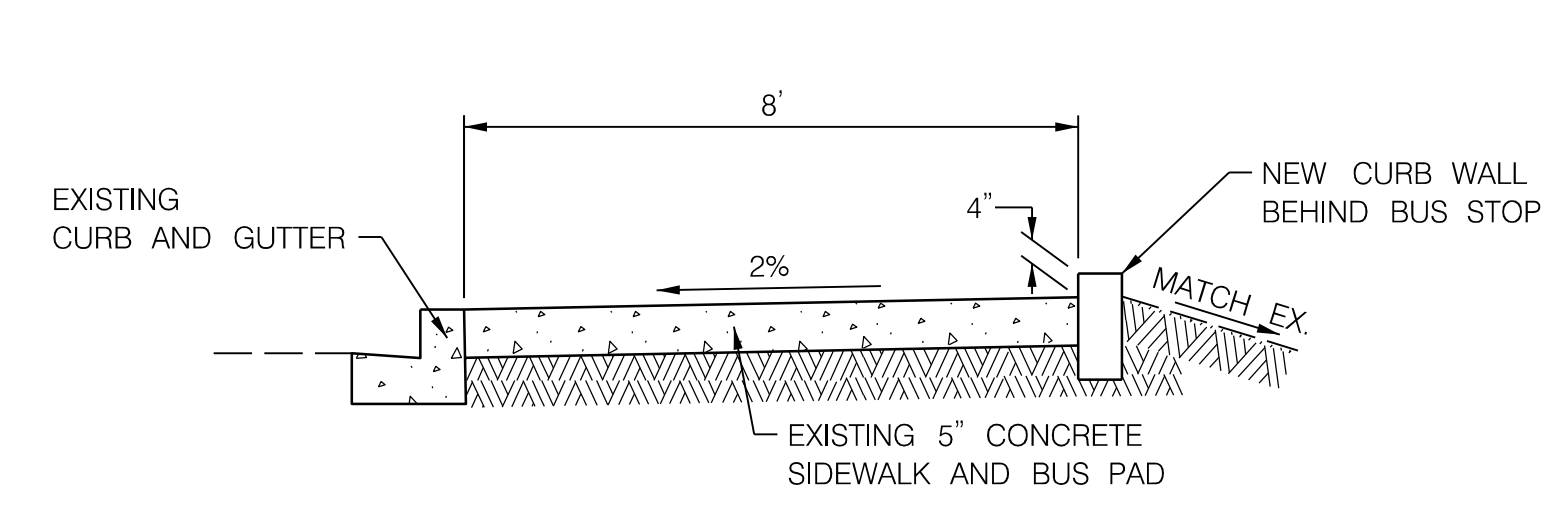
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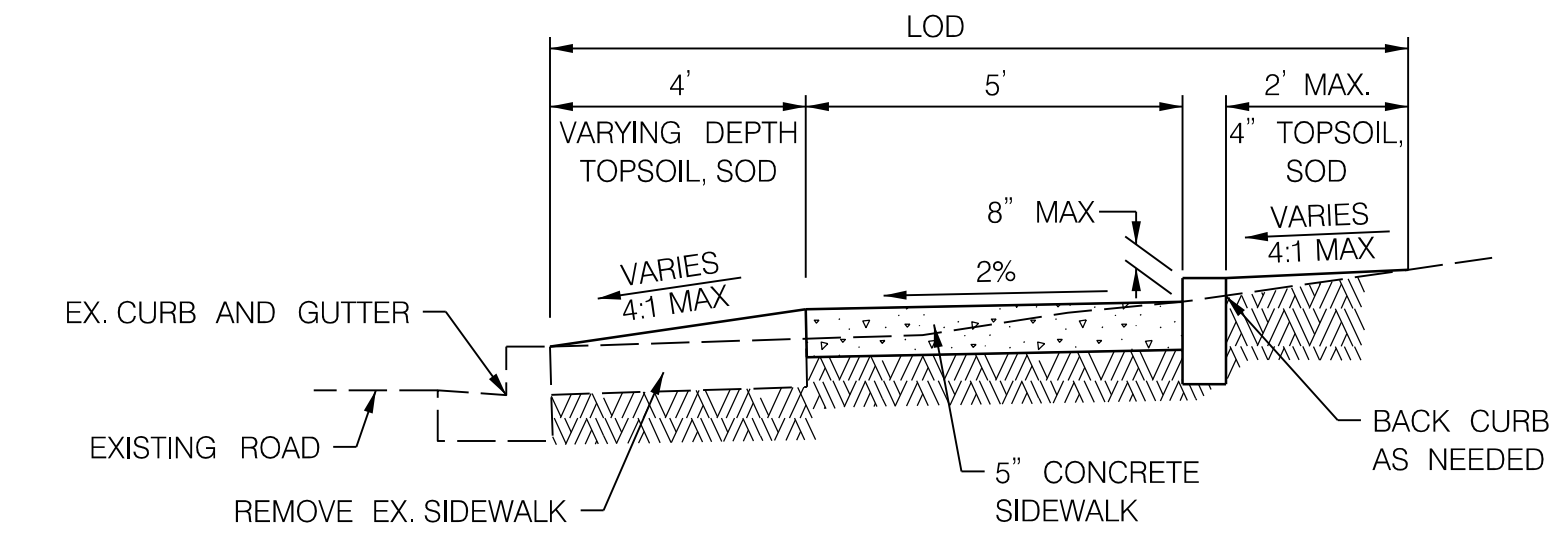
LOCATION MAP
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SECTION D-D
NOT TO SCALE



SECTION E-E
NOT TO SCALE

MOT INNOVATIVE CONTRACTING DIVISION
 MARYLAND DEPARTMENT OF TRANSPORTATION
 STATE HIGHWAY ADMINISTRATION

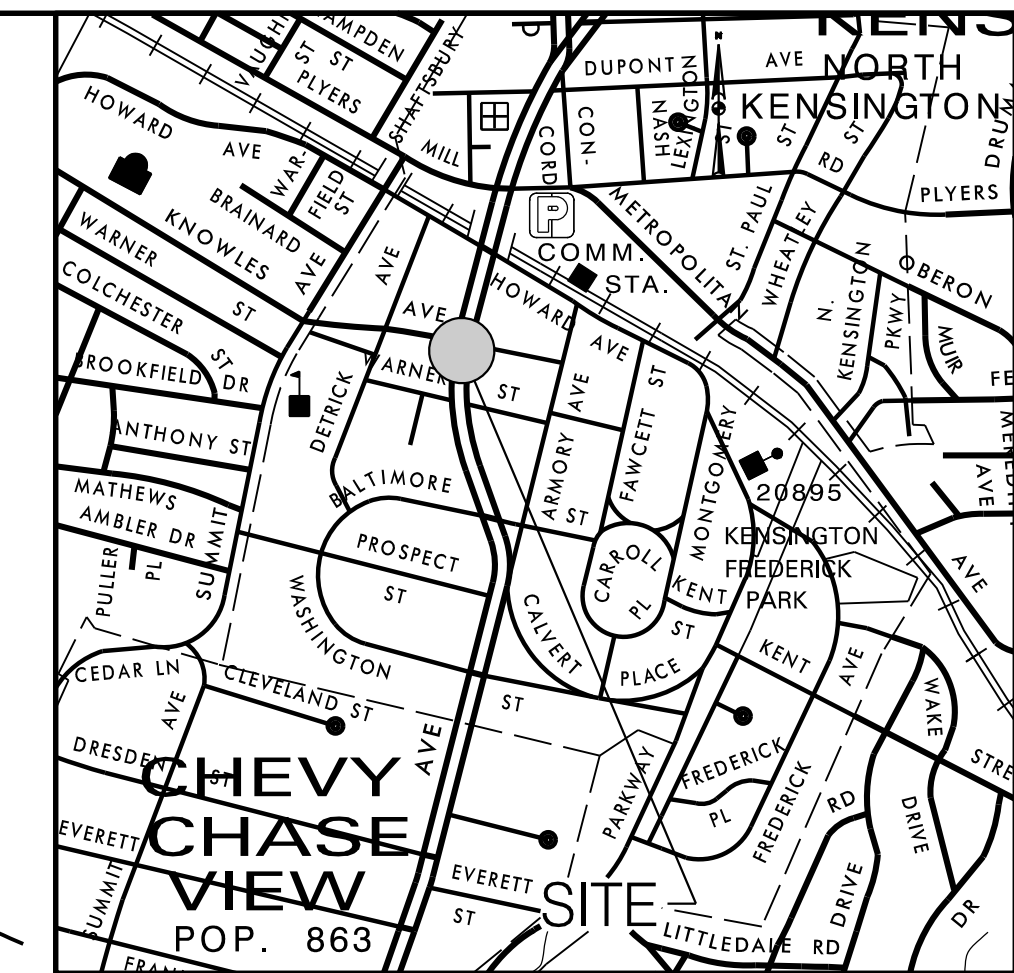
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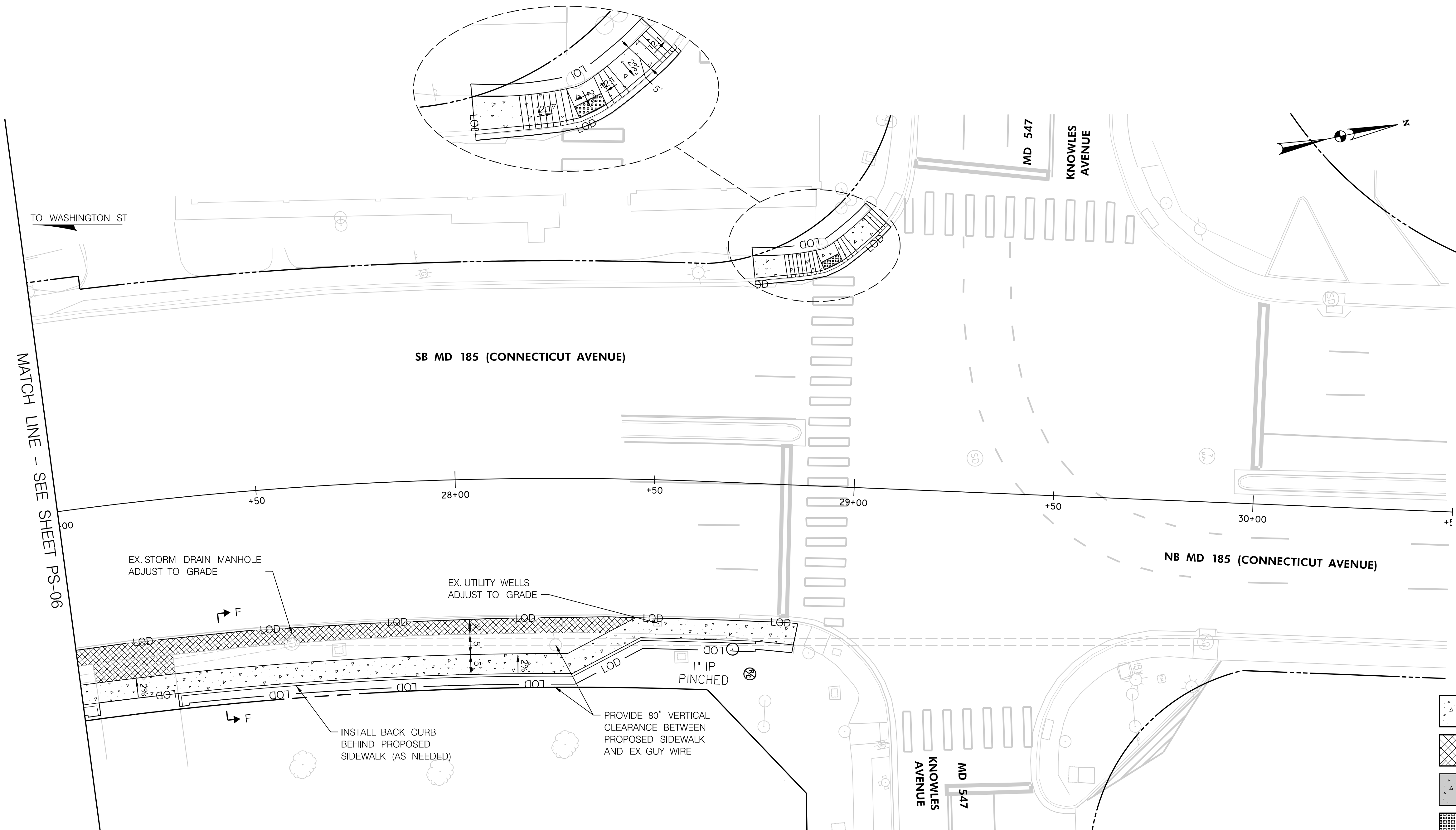
SCALE 1" = 30'	DATE DECEMBER 2023	CONTRACT NO. XXS355333
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DRAWING NO. PS - 06 OF 07	SHEET NO. ### OF ##	



BY: wminor

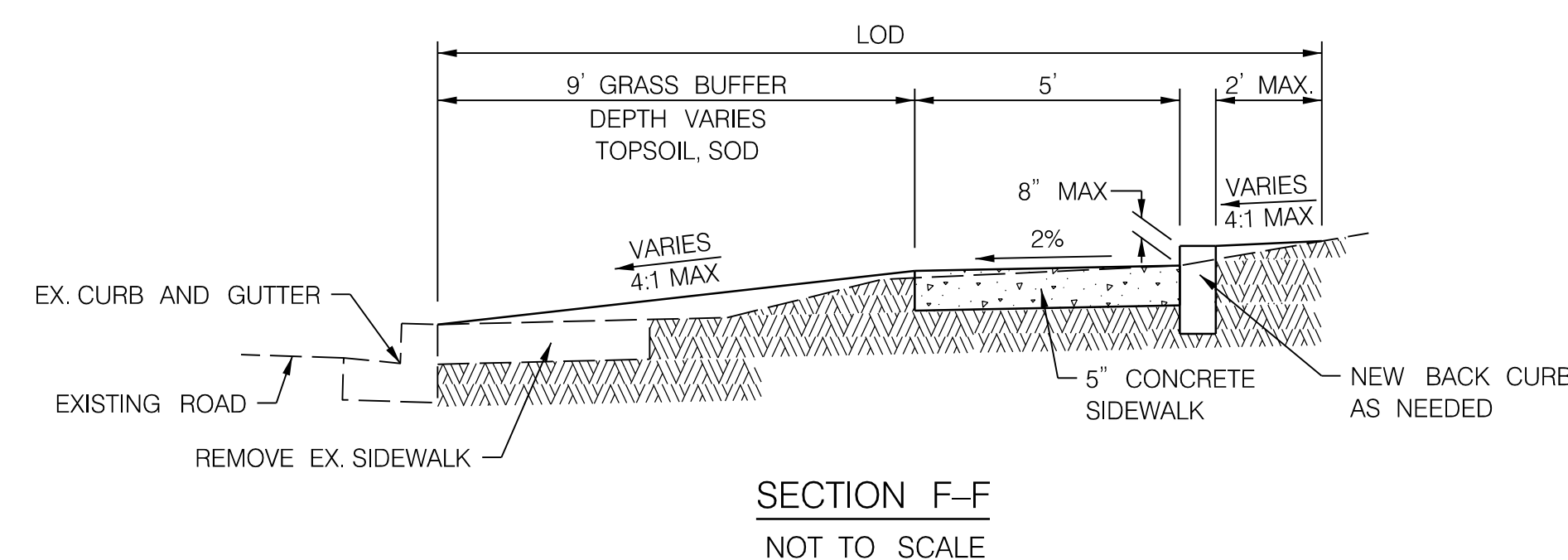


LOCATION MAP
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LEGEND

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- DETECTABLE WARNING SURFACE
- NEW CURB
- APPROX. RIGHT OF WAY & PARCEL LINE
- LOD - LIMIT OF DISTURBANCE



MDOT
MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION

INNOVATIVE CONTRACTING DIVISION
MD 185 (CONNECTICUT AVENUE)
SIDEWALK IMPROVEMENTS FROM
WASHINGTON ST TO KNOWLES AVE

CONSTRUCTION PLAN

SCALE 1" = 30'	DATE DECEMBER 2023	CONTRACT NO. XXS355333
DESIGNED BY WCM	COUNTY MONTGOMERY	
DRAWN BY WCM	LOGMILE	
CHECKED BY REH	HORIZONTAL SCALE	
MDE/PRD SEE TITLE SHEET	VERTICAL SCALE	
DRAWING NO. PS 07	OF 07	SHEET NO. ## OF ##

WRA
Whitman, Requardt & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231

Resolution No. R-16-2024**Adopted:**

A Resolution of the Mayor and Town Council of Kensington approving a Variance to allow a six-foot (6') fence within the front plane of the property located at 3417 Plyers Mill Road, in accordance with Section 5-109, "Fences, Walls, and Retaining Walls", of the Town Code.

WHEREAS, the Town received a permit application for the installation of a six-foot (6') fence in the front plane of the property by Rachael and Jason Leffler, ("the Applicants"), for certain real property located at 3417 Plyers Mill Road, ("the Property"); and

WHEREAS, the fence would exceed the allowed height of a fence within the front plane of a residential property, in accordance with Section 5-109, "Fences, Walls, and Retaining Walls", of the Town Code; and

WHEREAS, the Applicants have filed a Variance request before the Town Council to allow for a six-foot (6') fence within the front plane of the property located at 3417 Plyers Mill Road; and

WHEREAS, the Town Council may grant a petition for a Variance after a Hearing in which the Council finds that:

1. Strict application of the Town regulations would result in peculiar and unusual practical difficulties to, or exceptional or undue hardship upon, the owner of the property;
2. The Variance is the minimum reasonably necessary to overcome any exceptional conditions; and
3. The Variance can be granted without substantial impairment of the intent, purpose, and integrity of this article.

WHEREAS, the Mayor and Council conducted a Public Hearing on the Variance request at the September 10, 2024, Council meeting, after due notice to the public and to the adjacent neighbors, and received testimony on the requested Variance. The Council closed the record following the Public Hearing.

NOW, THEREFORE, BE IT RESOLVED that the Council of the Town of Kensington, based on the testimony presented at the Public Hearing on September 10, 2024, and evidence submitted, adopts the following findings of fact and conclusions of law:

Findings of Fact:

1. Rachael and Jason Leffler, (“the Applicants”), are the owners of 3417 Plyers Mill Road, Kensington, Maryland, which is zoned single-family residential (“the property”).
2. The Applicants have requested to install a six-foot (6’) fence within the front plane of the property, which would replace an existing six-foot (6’) fence, to maintain privacy between what is considered the rear yard at 3417 Plyers Mill Road, and the adjacent property at 3415 Plyers Mill Road.
3. The property at 3417 Plyers Mill Road is a corner lot, in which the eastern side lot of the property, where the fence is to be installed, is primarily used as the rear yard of the applicants and abuts the front plane of the property located at 3415 Plyers Mill Road.

Conclusions of Law:

1. The Strict application of the Town’s regulations would result in peculiar and unusual practical difficulties due to the unique layout of the property, as 3417 Plyers Mill Road is a corner lot, in which the eastern side of the property is utilized as the rear yard.
2. The proposed Variance is the minimum necessary to overcome the unique condition of the property and would be replacing an existing six-foot (6’) fence that had been previously installed and permitted by the Town.
3. The Variance can be granted without impairment of the intent, purpose, and integrity of this article.

BE IT FURTHER RESOLVED THAT the Variance request to install a six-foot (6’) fence within the front plane of the property located at 3417 Plyers Mill Road be and it is hereby granted.

ADOPTED by the Town Council of Kensington, Maryland at the regular public meeting assembled on the 10th day of October, 2024.

EFFECTIVE the 10th day of October, 2024.

ATTEST: TOWN OF KENSINGTON, MARYLAND

By: _____
Susan C. Engels, Clerk – Treasurer

Tracey C. Furman, Mayor

**Resolution No. R-17-2024
Adopted:**

A Resolution of the Mayor and Town Council of Kensington to Adopt the Montgomery County Hazard Mitigation Plan for 2024.

WHEREAS, the Montgomery County Hazard Mitigation Plan of 2024 (“the Plan”) was developed by a core planning team including County agencies, utility companies, community and volunteer organizations, and municipalities; and

WHEREAS, the Plan has been approved by the Maryland Emergency Management Agency and the Federal Emergency Management Agency; and

WHEREAS, the purpose of the Plan is to identify policies, capabilities, activities and tools to help make Montgomery County and its municipalities more resilient in the face of future disasters; and

WHEREAS, the County Office of Emergency Management and Homeland Security (OEMHS) is requesting that all municipalities adopt the Plan in order to have a uniform approach to hazard events and for municipalities to be eligible for FEMA pre- and post-disaster mitigation grant funding; and

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the Town of Kensington that the Montgomery County Hazard Mitigation Plan of 2024 is adopted.

Adopted this 10th Day of October, 2024.

Tracey C. Furman, Mayor

This is to certify that the foregoing Resolution was adopted by the Mayor and Town Council in public meeting assembled on the 10th day of October, 2024.

Susan C. Engels, Clerk-Treasurer



LOCAL HAZARD MITIGATION PLANNING

Hazard Mitigation Planning for Resilient Communities

Disasters can cause loss of life; damage buildings and infrastructure; and have devastating consequences for a community's economic, social, and environmental well-being. Hazard mitigation is the effort to reduce loss of life and property by lessening the impact of disasters. In other words, hazard mitigation keeps natural hazards from becoming natural disasters.

Hazard mitigation is best accomplished when based on a comprehensive, long-term plan developed before a disaster strikes. Mitigation planning is the process used by state, tribal, and local leaders to understand risks from natural hazards and develop long-term strategies that will reduce the impacts of future events on people, property, and the environment.

The Local Mitigation Planning Process

The mitigation plan is a community-driven, living document. The planning process itself is as important as the resulting plan because it encourages communities to integrate mitigation with day-to-day decision making regarding land use planning, floodplain management, site design, and other functions. Mitigation planning includes the following elements:

Public Involvement – Planning creates a way to solicit and consider input from diverse interests, and promotes discussion about creating a safer, more disaster-resilient community. Involving stakeholders is essential to building community-wide support for the plan. In addition to emergency managers, the planning process involves other government agencies, businesses, civic groups, environmental groups, and schools.

Risk Assessment – Mitigation plans identify the natural hazards and risks that can impact a community based on historical experience, estimate the potential frequency and magnitude of disasters, and assess potential losses to life and property. The risk assessment process provides a factual basis for the activities proposed in the mitigation strategy.

Mitigation Strategy – Based on public input, identified risks, and available capabilities, communities develop mitigation goals and objectives as part of a strategy for mitigating hazard-related losses. The strategy is a community's approach for implementing mitigation activities that are cost-effective, technically feasible, and environmentally sound as well as allowing strategic investment of limited resources.

Disaster Mitigation Act of 2000

The Robert T. Stafford Disaster Relief and Emergency Assistance Act, as amended by the Disaster Mitigation Act of 2000, is intended to “reduce the loss of life and property, human suffering, economic disruption, and disaster assistance costs resulting from natural disasters.”

Under this legislation, state, tribal, and local governments must develop a hazard mitigation plan as a condition for receiving certain types of non-emergency disaster assistance through the Hazard Mitigation Assistance Programs. The regulatory requirements for local hazard mitigation plans can be found at Title 44 Code of Federal Regulations §201.6.

For more information about FEMA's Hazard Mitigation Assistance Grants, visit: www.fema.gov/hazard-mitigation-assistance.

Benefits of Hazard Mitigation

Mitigation is an investment in your community's future safety and sustainability. Mitigation planning helps you take action now, before a disaster, to reduce impacts when a disaster occurs. Hazard mitigation planning helps you think through how you choose to plan, design, and build your community and builds partnerships for risk reduction throughout the community. Consider the critical importance of mitigation to:

- Protect public safety and prevent loss of life and injury.
- Reduce harm to existing and future development.
- Maintain community continuity and strengthen the social connections that are essential for recovery.
- Prevent damage to your community's unique economic, cultural, and environmental assets.
- Minimize operational downtime and accelerate recovery of government and business after disasters.
- Reduce the costs of disaster response and recovery and the exposure to risk for first responders.
- Help accomplish other community objectives, such as capital improvements, infrastructure protection, open space preservation, and economic resiliency.

Having a hazard mitigation plan will increase awareness of hazards, risk, and vulnerabilities; identify actions for risk reduction; focus resources on the greatest risks; communicate priorities to state and federal officials; and increase overall awareness of hazards and risks.

Mitigation Activities for Risk Reduction

Possible mitigation activities may include:



Adoption and enforcement of regulatory tools, including ordinances, regulations, and building codes, to guide and inform land use, development, and redevelopment decisions in areas affected by hazards.



Acquisition or elevation of flood-damaged homes or businesses retrofit public buildings, schools, and critical facilities to withstand extreme wind events or ground shaking from earthquakes.



Creating a buffer area by protecting natural resources, such as floodplains, wetlands, or sensitive habitats. Additional benefits to the community may include improved water quality and recreational opportunities.



Implement outreach programs to educate property owners and the public about risk and about mitigation measures to protect homes and businesses.

Mitigation Plan Implementation & Monitoring

History shows that hazard mitigation planning and the implementation of risk reduction activities can significantly reduce the physical, financial, and emotional losses caused by disasters. Putting the plan into action will be an ongoing process that may include initiating and completing mitigation projects and integrating mitigation strategies into other community plans and programs. Monitoring the plan's implementation helps to ensure it remains relevant as community priorities and development patterns change.

Planning Guidance, Tools, and Resources

FEMA provides a variety of guidance, tools, and resources to help communities develop hazard mitigation plans. These resources and more can be found online at: www.fema.gov/hazard-mitigation-planning-resources.

- [Hazard mitigation planning laws, regulations, and policies](#) guide development of state, local, and tribal FEMA-approved hazard mitigation plans.
- The [Local Mitigation Planning Handbook](#) is the official guide for governments to develop, update, and implement local plans. The Handbook includes guidance, tools, and examples communities can use to develop their plans.
- [Mitigation Ideas: A Resource for Reducing Risk to Natural Hazards](#) provides ideas for mitigation actions.
- Visit www.fema.gov/hazard-mitigation-planning-training for more information on available online and in-person mitigation planning training.

"FEMA's mission is to support our citizens and first responders to ensure that as a nation we work together to build, sustain, and improve our capability to prepare for, protect against, respond to, recover from, and mitigate all hazards."

Resolution No. R-19-2024
Adopted:

A Resolution of the Mayor and Town Council of Kensington Authorizing a Contract with Ecology Services Refuse & Recycling, LLC, for the term of one-year, beginning January 1, 2025, and for three additional one-year options, to provide Trash, Recycling, Yard Waste, and Bulk Trash Services.

Whereas, Article VI, “Powers of the Council”, Section 601, “General Powers”, of the Town Charter authorizes the Mayor and Council to take action as it may deem necessary for the good government of the Town; for the protection and preservation of property, rights, and privileges; for the preservation of peace and good order; for securing person and property from violation, danger, or destruction; and for the protection and promotion of the health, safety, and welfare of the residents and visitors of the Town; and

Whereas, Article VI, “Powers of the Council”, Section 602, “Specific Powers”, Subsection 19, “Garbage”, of the Town Charter authorizes the Mayor and Council to require waste and hazardous waste materials to be removed to designated points in an organized manner; and

Whereas, the Mayor and Council in accordance with Chapter II, Section 2-404, “Awarding of Bids”, awarded a contract for trash, recycling, bulk trash and yard waste services to Ecology Services Refuse & Recycling, LLC, Resolution R-17-2018, which was extended in 2021 and in 2023 through December 31, 2024; and

Whereas, Ecology Services Refuse & Recycling, LLC, provided the Town with a proposal for collection services based on rates for a recently awarded competitively bid contract with Garrett Park, Maryland, in which Ecology proposes a five percent (5%) increase per collection unit for 2025, and three one-year renewal options at the prior year’s base rate, as adjusted by the CPIU for the Washington, DC, Metropolitan area, with adjustment of the contract price when tipping fees are increased, and recognition of increased gas prices when agreed by both parties (Exhibit A); and

Whereas, pursuant to Chapter II, “Government and Administration”, Article 4, “Purchasing and Contracts”, Section 2-402, “Bidding Requirements”, of the Town Code, all purchases exceeding \$10,000 shall be approved by the Town Council; and

Whereas, in accordance with Section 2-404 of the Town Code, the Mayor and Council may, by an extra-majority vote, (defined as one more than a majority of those present and voting) authorize the bypassing of any or all bid procedure steps in cases which, in the Council’s judgment, warrant such action; and

Whereas, the Mayor and Town Council have determined that it is in the public interest to authorize the Town Manager to accept the Contract proposal for a one-year term, with the option of three additional one-year terms on substantially the terms and conditions set out in the attached contract.

Now, Therefore, Be It Resolved by the Mayor and Council of the Town of Kensington that a contract in substantially the form attached to accept the Contract proposal from Ecology Services Refuse & Recycling, LLC, for trash, recycling, yard waste and bulk trash removal for calendar year 2025, with options for up to three additional one-year terms, with pricing increases based on the CPIU and tipping fees , as follows, to be signed by the Town Manager, be and it is hereby approved:

Weekly (Twice) Trash	601 Units	\$13.40 - per unit, per month	\$96,640.80
Weekly Recycling	575 Units	\$7.11 – per unit, per month	\$49,059.00
Weekly Yard Waste	574 Units	\$5.34 – per unit, per month	\$36,781.92
Weekly Bulk	574 Units	\$1.35 – per unit, per month	\$9,298.80
			\$191,780.52

Adopted by the Town Council this 10th day of October, 2024.

Effective the 1st day of January, 2025.

ATTEST: TOWN OF KENSINGTON, MARYLAND

By: _____
Susan C. Engels, Clerk – Treasurer

Tracey C. Furman, Mayor

THIS IS TO CERTIFY that the foregoing Resolution was adopted by the Town Council in public meeting assembled on the 10th day of October, 2024.

By: _____
Susan C. Engels, Clerk – Treasurer