

Mayor Tracey Furman

**Council Member Darin Bartram
Council Member Nate Engle**



**Council Member Conor Crimmins
Council Member Bridget Hill-Zayat**

Released: January 7, 2022

**Monday, January 10, 2022
Town Council Meeting, 7:00 pm**

The Town Council Meeting will be held through the Zoom Video Conferencing application. We recommend downloading the Zoom app prior to the meeting at the following link: www.zoom.us

The Council Meeting will begin at 7:00 pm. Access to the meetings will be through the following Zoom Video Conferencing link:

<https://us02web.zoom.us/j/89840007614?pwd=cys2OEhRNXVEenF6bFlXVDVcncnRPQT09>

Meeting ID: 898 4000 7614

Password: 458120

Or you may join the meeting by calling: +1 301 715 8592 US (Washington D.C) and entering the Meeting ID and Password above.

CALL TO ORDER

MOMENT OF SILENCE

APPROVAL OF MINUTES

Town Council Meeting Minutes of December 13, 2021

THE MAYOR AND TOWN COUNCIL

1. 10619 Connecticut Avenue (Crossroads at Kensington):

- a. Update on the revised site plan for the proposed Crossroads at Kensington project at 10619 Connecticut Avenue.

2. Proposed Charter Revision for Voter Qualification

- a. Discuss language of proposed Charter Revision, to be introduced at February 14 Council Meeting.
- b. Section 701. Qualifications of Voters Every person who (a) is a citizen of the United States, a lawful permanent resident or authorized to work in the United States, (b) is at least eighteen (18) years of age, (c) has resided within the corporate limits of the

**Town of Kensington 3710 Mitchell Street Kensington, MD 20895
Phone 301.949.2424 Fax 301.949.4925
www.tok.md.gov**

Town for thirty (30) days, and (d) is registered in accordance with the provisions of this Charter, shall be a qualified voter of the Town. Every qualified voter of the Town shall be entitled to vote at any or all Town elections.

THE TOWN MANAGER AND STAFF

1. Howard Avenue at Fawcett Street – Pedestrian Improvement Project:

- a. Discuss the recommended proposals from the Town’s Traffic Engineer for installing a bump-out to improve pedestrian safety at the intersection of Howard Avenue and Fawcett Street.

2. Mobility and Traffic Committee:

- a. The Mobility and Traffic Committee will convene Wednesday, January 19, 2022, 7:00 pm, via Zoom.

PUBLIC APPEARANCES

(The public is invited to speak on any subject that is not a topic on tonight’s agenda)

ORDINANCES, RESOLUTIONS, AND REGULATIONS

(Ordinances, resolutions, and regulations to be introduced or adopted following appropriate procedures required by the Town Code; or resolutions that may require discussion by the Mayor and Council prior to approval)

Ordinance No. O-03-2021 (Public Hearing) – AN ORDINANCE OF THE MAYOR AND TOWN COUNCIL TO AMEND CHAPTER IV, “TRAFFIC AND VEHICLES”, ARTICLE 3, “TRAFFIC CONTROL”, SECTION 4-302, “SPEED LIMITS IN THE TOWN OF KENSINGTON”, TO REDUCE THE SPEED LIMIT ALONG TOWN MAINTAINED STREETS FROM 25 MILES PER HOUR TO 20 MILES PER HOUR.

- a. *The Council will move to keep the Public Hearing open until 4:00 pm on Friday, February 11, 2022.*

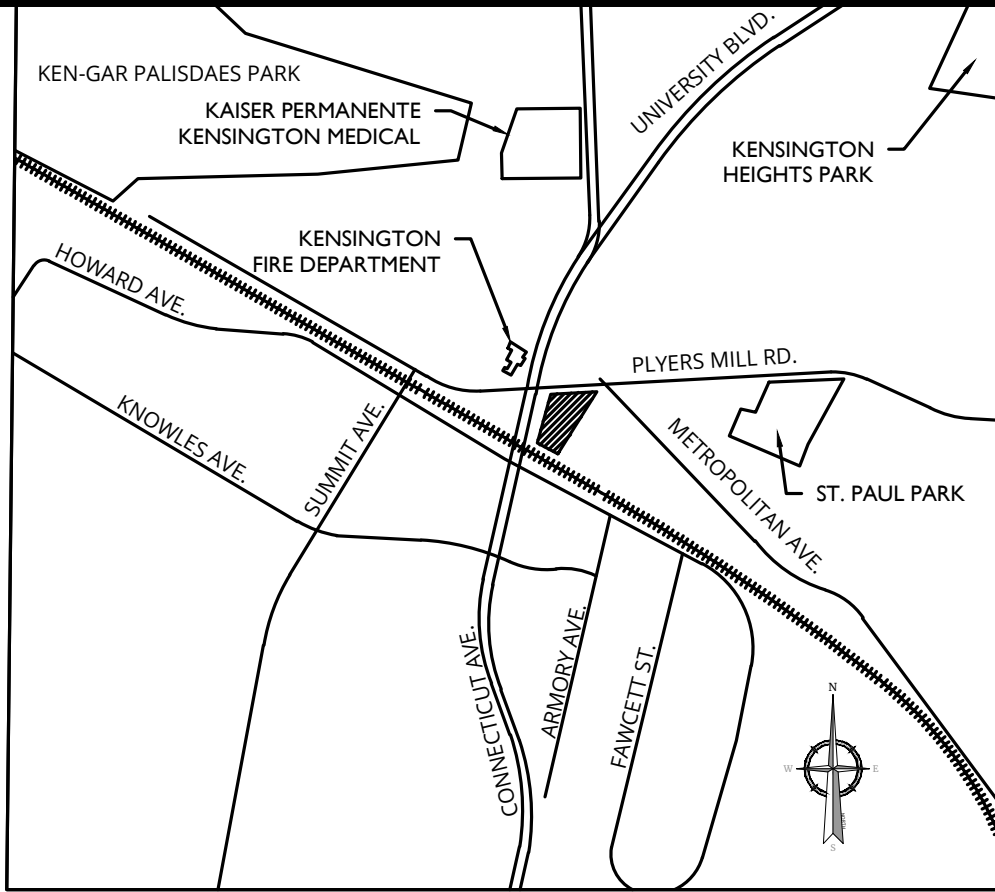
ADJOURNMENT

(The Mayor and Council may move to close the meeting and may move to reopen the meeting)

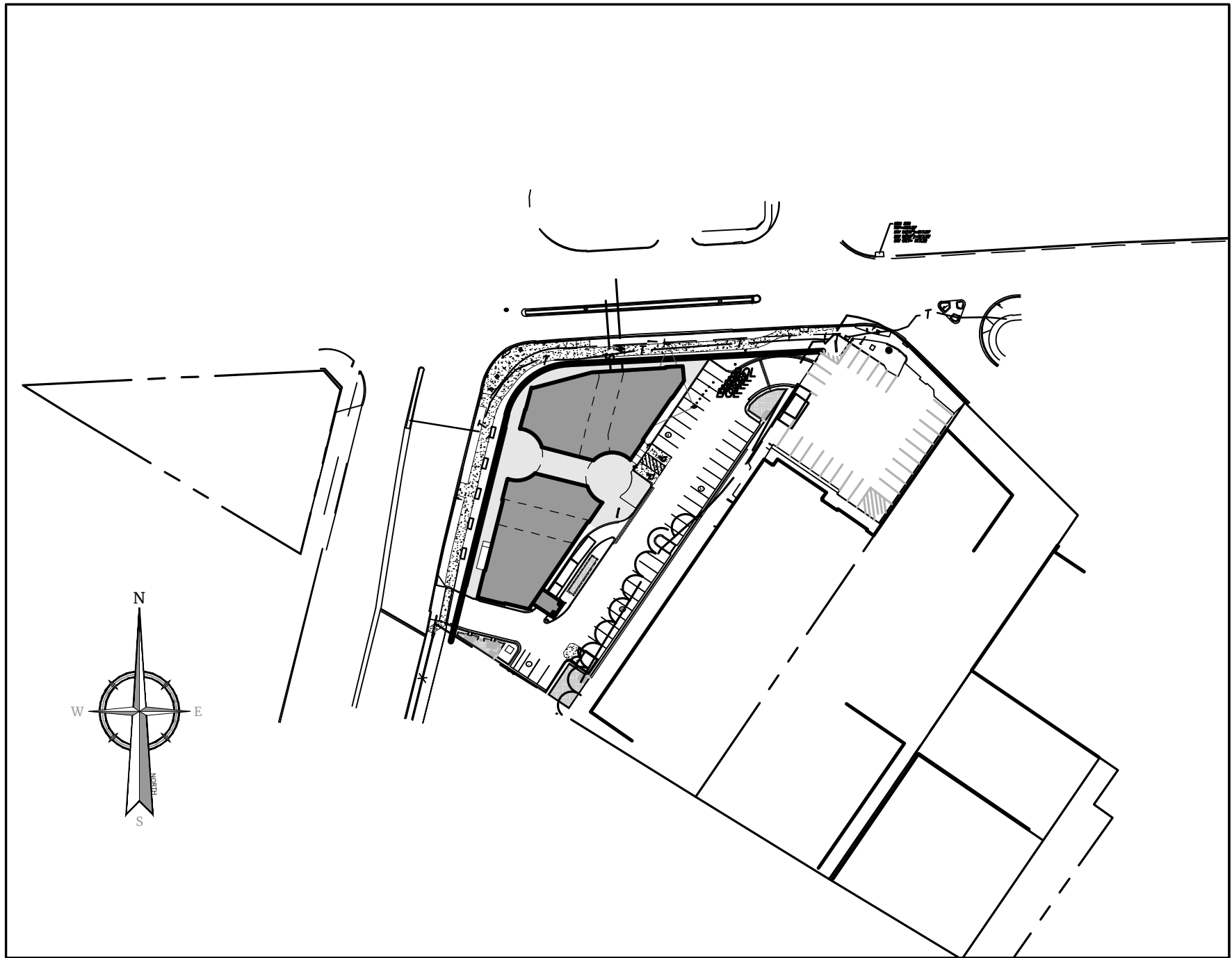
THE NEXT SCHEDULED MEETING(S) OF THE MAYOR AND TOWN COUNCIL WILL BE HELD:

Monday, February 14, 2022, 7:00 pm

SITE PLAN #820220030
CROSSROADS OF KENSINGTON
10619 CONNECTICUT AVENUE
ELECTION DISTRICT 13
MONTGOMERY COUNTY, MD



VICINITY MAP
SCALE = 1" = 500'



SITE PLAN
(LOCATION MAP)
SCALE = 1" = 100'

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C1	COVER SHEET
C2	APPROVAL SHEET
C3	DEMOLITION PLAN
C4	SITE PLAN
C5	GRADING AND UTILITY PLAN
C6	DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
L1.2	LIGHTING PLAN
L1.3	LIGHTING DETAILS
A-011	SITE DETAILS
A-201	FIRST FLOOR
A-301	ELEVATIONS
A-900	RENDERINGS
A-901	3D RENDERING
A-902	RENDERED SITE PLAN

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11/30/2021

Robert Paul Pease
MARYLAND PROFESSIONAL ENGINEER
LICENSE NUMBER: 18890
COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN
#820220030

CROSSROADS OF
KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13
MONTGOMERY COUNTY
MARYLAND

Colliers

Engineering
& Design

STERLING
22375 Broderick Drive,
Suite 110
Sterling, VA 20166

Phone: 703.430.4330

COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 08/30/2021 DRAWN BY: HS CHECKED BY: RP

PROJECT NUMBER: 20002505A DRAWING NAME: C-COVER

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C1

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 820220030, INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: MOUNTAIN VIEW BURLESON, LLC

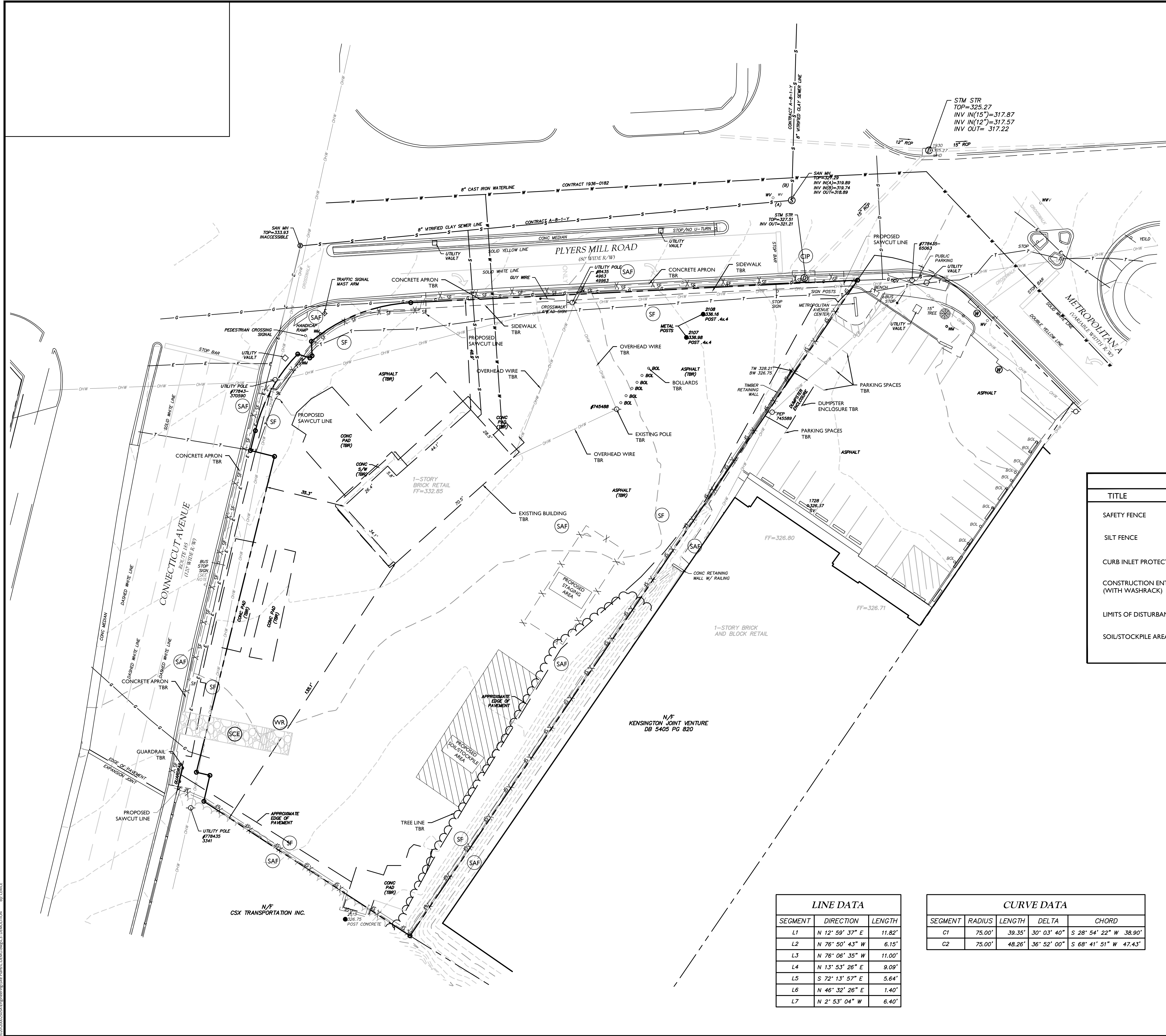
ADDRESS: 1825 EYE STREET NW, DC, 20006

PHONE: (202) 772-5808

SIGNATURE:

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

202000002505A\Engineering\Site Plans\CDM.dwg CD: DEMOLITION By: CDEB



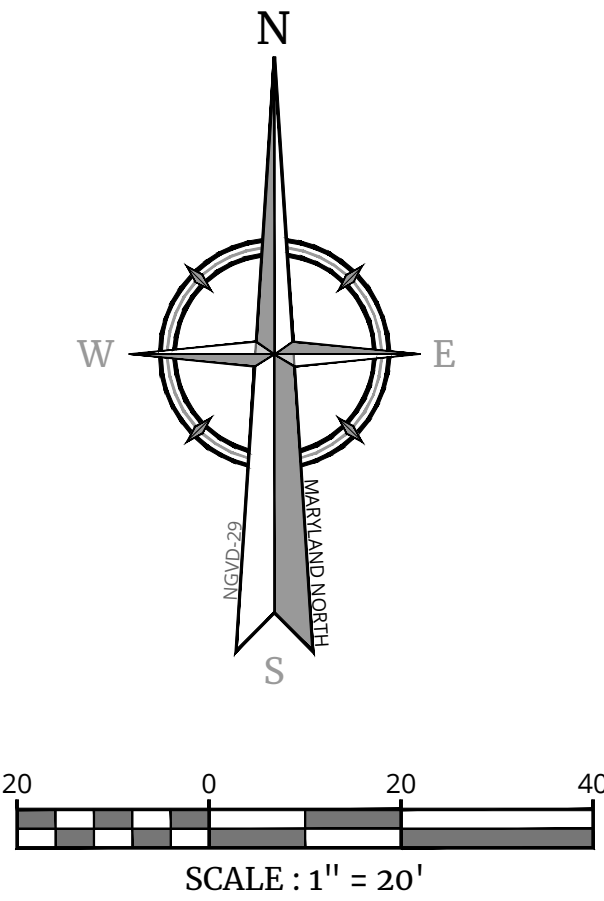
DEMOLITION NOTES:

1. THE CONTRACTOR SHALL CONTACT MISS UTILITY FOR RENEWED UTILITY MARK-OUT PRIOR TO ANY EXCAVATION AND SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS DURING DEMOLITION AND CONSTRUCTION.
2. ALL UTILITY DISCONNECTS ARE TO BE FULLY COORDINATED (SCHEDULE, MEANS AND METHODS, ETC.) WITH THE RESPECTIVE UTILITY OWNER(S).
3. ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL ALONG CONNECTICUT AVENUE, PLYERS MILL ROAD, AND THE SURROUNDING AREA IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE UNDER THE SUPERVISION OF A CERTIFIED TRAFFIC CONTROL MANAGER.
4. CONTRACTOR TO COORDINATE WITH WMATA (CONTACT: JAMIE IRA CEPLER - ICEPLER@WMATA.COM) AND RIDEON (CONTACT: WAYNE MILLER - WAYNEMILLER2@MONTGOMERYCOUNTYMD.GOV) TWO (2) WEEKS PRIOR TO CLOSING SIDEWALK ALONG CONNECTICUT AVENUE FOR SIGN REMOVAL. CONTRACTOR SHALL NOT REMOVE THE EXISTING "BUS STOP" SIGN.

LEGEND		
TITLE	KEY	SYMBOL
SAFETY FENCE	(SAF)	-X-X-
SILT FENCE	(SF)	-SF-SF-
CURB INLET PROTECTION	(CIP)	[Symbol]
CONSTRUCTION ENTRANCE (WITH WASHRACK)	(SCE) (WR)	[Symbol]
LIMITS OF DISTURBANCE		-LOD-
SOIL/STOCKPILE AREA		[Symbol]

LINE DATA		
SEGMENT	DIRECTION	LENGTH
L1	N 12° 59' 37" E	11.82'
L2	N 76° 50' 43" W	6.15'
L3	N 76° 06' 35" W	11.00'
L4	N 13° 53' 26" E	9.09'
L5	S 72° 13' 57" E	5.64'
L6	N 46° 32' 26" E	1.40'
L7	N 2° 53' 04" W	6.40'

CURVE DATA				
SEGMENT	RADIUS	LENGTH	DELTA	CHORD
C1	75.00'	39.35'	30° 03' 40"	S 28° 54' 22" W 38.90'
C2	75.00'	48.26'	36° 52' 00"	S 68° 41' 51" W 47.43'



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DEVELOPER'S NAME: MOUNTAIN VIEW BURLESON, LLC

ADDRESS: 1825 EYE STREET NW, DC, 20006

PHONE: (202) 772-5808

SIGNATURE: _____

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11/30/2021

Robert Paul Pease

MARYLAND PROFESSIONAL ENGINEER

LICENSE NUMBER: 18890

COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN

#820220030

CROSSROADS OF KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13

MONTGOMERY COUNTY

MARYLAND

Engineering & Design

STERLING

22375 Broderick Drive, Suite 110

Sterling, VA 20166

Phone: 703.430.4330

COLLIERS ENGINEERING & DESIGN, INC.

DOING BUSINESS AS MASER CONSULTING

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	08/30/2021	HS	RP

PROJECT NUMBER: 20002505A

DRAWING NAME: C-DEMO

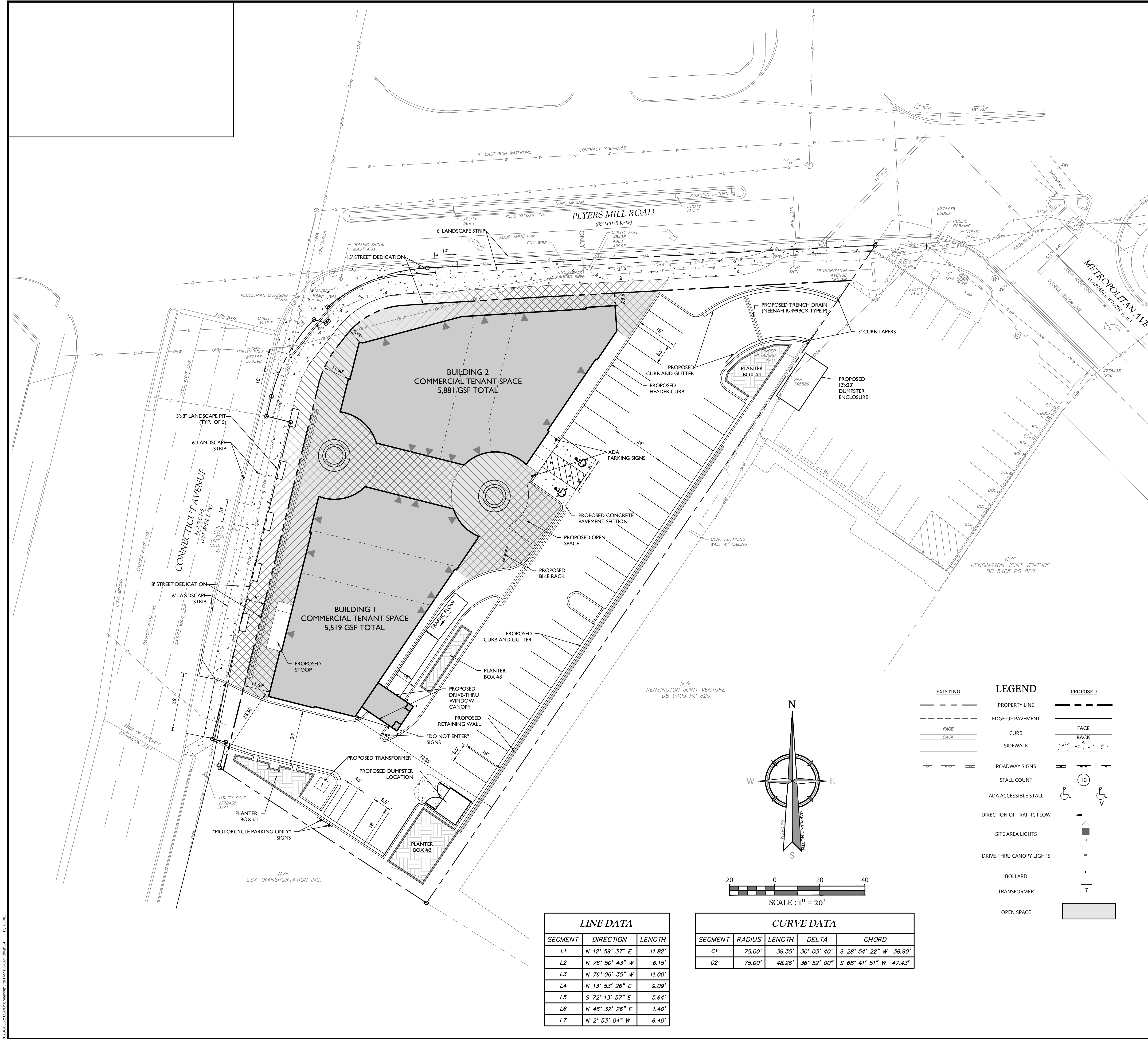
SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



SITE TABULATION

1. THIS PROPERTY IS IDENTIFIED AS ACCOUNT #13-01021326, PART OF LOT 2, KNOWLES ESTATE, AND IS LOCATED IN MONTGOMERY COUNTY, MD.
2. CONTRACTOR TO COORDINATE WITH WMATA (Contact: Jamie Ira Cepler - jcepler@wmata.com) and RideOn (Contact: Wayne Miller - Wayne.Miller2@montgomerycountymd.gov) TWO (2) WEEKS PRIOR TO CLOSING SIDEWALK ALONG CONNECTICUT AVENUE FOR SIGN REMOVAL. CONTRACTOR SHALL NOT REMOVE THE EXISTING "BUS STOP" SIGN.

SITE TABULATION	
LOT AREA	
EXISTING LOT AREA	46,408 SF
STREET DEDICATION	5,585 SF
NET LOT AREA	40,823 SF

NOTE: THIS PROPERTY IS ZONED CRT-2.5, C-2.0, R-2.0, H-75. DENSITY AND LOT YIELD CALCULATIONS ARE BASED UPON THE NET LOT AREA OF 40,823 SF. THERE IS NO REZONING PROPOSED WITH THIS SITE PLAN.

DENSITY STANDARDS REQUIRED/PROVIDED		
	MAX. ALLOWED	PROPOSED
MAX. NON-RES FAR: CRT-2.5	102,057 SF	11,400 SF
MAX. RES. FAR: C-2.0	81,646 SF	0 SF
MAX. COMBINED FAR	2.5	0.28
BUILDING HEIGHT	75 FT	26.0 FT
OPEN SPACE	10% (4,350 SF)	15% (6,218 SF)

PRINCIPAL BUILDING SETBACK		
STANDARD	REQUIRED SETBACK	PROVIDED SETBACK
FRONT (CONN. AVE.)	0	11.69 FT
SIDE STREET (PLYERS MILL)	0	5.66 FT
SIDE YARD (SOUTH)	0	38.36'
REAR YARD (EAST)	0	72.85'

BUILD TO AREA (BTA, MAX SETBACK AND MIN. % OF BUILDING FAÇADE)		
FRONT SETBACK (CONN. AVE.)	20' MAX/MIN. 70% OF FAÇADE	100% OF FAÇADE UNDER 20' FROM R/W
SIDE STREET (PLYERS MILL RD.)	20' MAX/MIN. 35% OF FAÇADE	100% OF FAÇADE UNDER 20 FEET FROM R/W

BUILDING TRANSPARENCY		
	REQUIRED (MIN)	PROVIDED
TRANSPARENCY FOR WALLS FACING A STREET OR OPEN SPACE	40%	40%

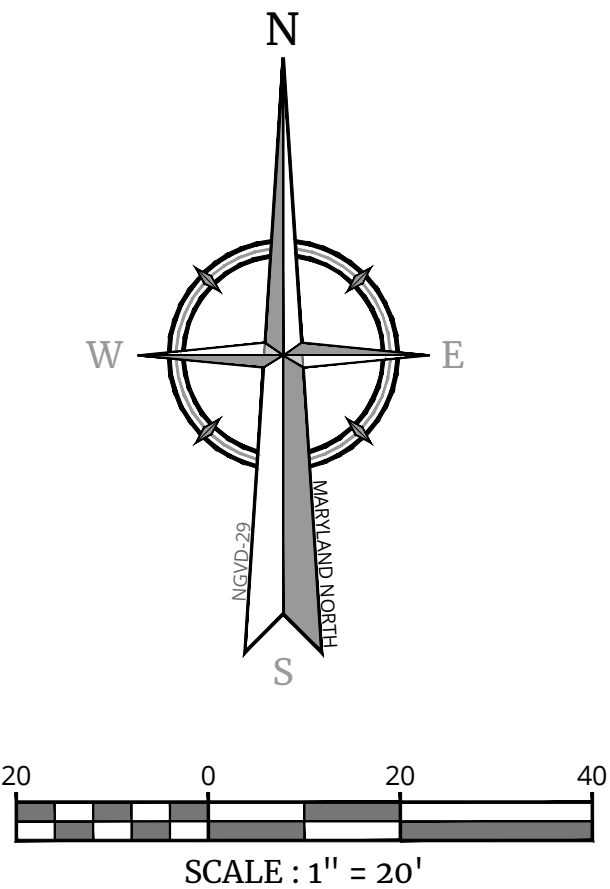
VEHICULAR AND BICYCLE PARKING (SEE FOOTNOTE)		
VEHICULAR PARKING		
STANDARD/METRIC	REQUIRED	PROVIDED
RETAIL SALES AND SERVICE (3.5/1000 SF MIN, 6.0/1000 MAX.)	11.4 X 3.5 = 39.9 = 40 (MIN) 11.4 X 6 = 68.4 = 65 (MAX)	40
ADA SPACES	2	2
MOTORCYCLE SPACES	N/A	2

BICYCLE		
STANDARD AND LONG TERM, ALL RETAIL		
STANDARD		
RETAIL (1/10,000 SF OF GFA, 50 MAX)	1.17 X 1 = 1.2 = 2 MIN.	2

LONG TERM		
15% OF STANDARD PROVIDED	2 X 0.15 = 0.3 = 1	1

FOOTNOTE
VEHICULAR (AUTO AND MOTORCYCLE) AND BICYCLE PARKING (SITE IS WITHIN REDUCED PARKING AREA, AS DEFINED BY THE PROPERTY ZONE). PARKING IS CALCULATED BASED ON THE REQUIREMENT FOR RETAIL/SERVICE USE, WHICH IS THE HIGHER PARKING GENERATOR. HOWEVER, THIS SPACE MAY BE DEVOTED TO RESTAURANT USE WITHOUT REQUIRING A SITE PLAN AMENDMENT.

EXISTING		PROPOSED	
	PROPERTY LINE		FACE
	EDGE OF PAVEMENT		BACK
	CURB		FACE
	SIDEWALK		BACK
	ROADWAY SIGNS		FACE
	STALL COUNT		BACK
	ADA ACCESSIBLE STALL		FACE
	DIRECTION OF TRAFFIC FLOW		BACK
	SITE AREA LIGHTS		FACE
	DRIVE-THRU CANOPY LIGHTS		BACK
	BOLLARD		FACE
	TRANSFORMER		BACK
	OPEN SPACE		FACE



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REV	DATE	DESCRIPTION	REVISION PER FIRST SUBMISSION COMMENTS	REVISION PER SECOND SUBMISSION COMMENTS
1	11/10/21	JLCONE		
2	11/30/21	CME		

11/30/2021
Robert Paul Pease
MARYLAND PROFESSIONAL ENGINEER
LICENSE NUMBER: 18890
COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN
#820220030

CROSSROADS OF KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13
MONTGOMERY COUNTY
MARYLAND

STERLING
22375 Broderick Drive,
Suite 110
Sterling, VA 20166
Phone: 703.430.4330
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN	DATE: 08/30/2021	DRAWN BY: HS	CHECKED BY: RP
PROJECT NUMBER: 20002505A	DRAWING NAME: C-LAYT		

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **C4**

DEVELOPER'S CERTIFICATE

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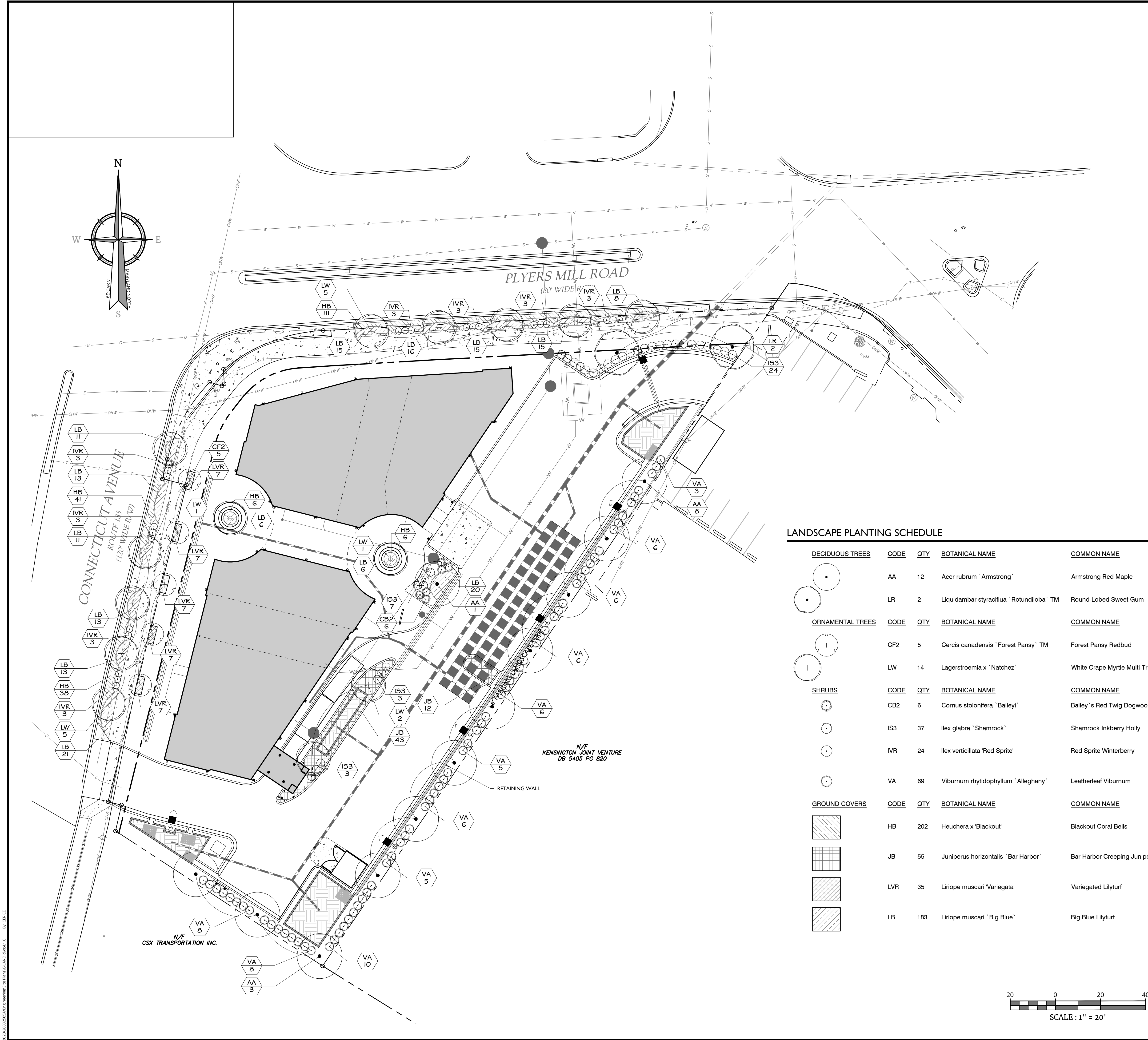
DEVELOPER'S NAME: MOUNTAIN VIEW BURLESON, LLC

ADDRESS: 1825 EYE STREET NW, DC., 20006

PHONE: (202) 772-5808

SIGNATURE: _____

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



LANDSCAPE COMPLIANCE CHART

PARKING LOT REQUIREMENTS FOR 10 OR MORE SPACES (SECTION 6.2.9.C)

I. LANDSCAPE AREA

A. A SURFACE PARKING LOT MUST HAVE LANDSCAPED ISLANDS THAT ARE A MINIMUM OF 100 CONTIGUOUS SQUARE FEET EACH COMPRISING A MINIMUM OF 5% OF THE TOTAL AREA OF THE SURFACE PARKING LOT.

REQUIRED:
AREA OF PARKING LOT - 14,995 S.F. X (5%) = 750 S.F.

PROVIDED:
1,201 S.F. (8.0%)

2. TREE CANOPY

EACH PARKING LOT MUST MAINTAIN A MINIMUM TREE CANOPY OF 25% COVERAGE AT 20 YEARS GROWTH, AS DEFINED BY THE TREES TECHNICAL MANUAL.

REQUIRED:
AREA OF PARKING LOT - 14,995 S.F. X (25%) = 3,749 S.F.

PROVIDED:
ELEVEN (11) RED MAPLE TREES (48" MATURE DIAMETER) = 5,843 S.F. (38.19%)

PERIMETER PLANTING - (SECTION 6.2.9.C.3.B) (NORTH, EAST, SOUTH)

B. THE PERIMETER PLANTING AREA FOR A PROPERTY THAT ABUTS ANY OTHER ZONED PROPERTY, RIGHT OF WAY, OR AN AGRICULTURAL, RURAL RESIDENTIAL, OR RESIDENTIAL DETACHED ZONED PROPERTY THAT IS IMPROVED WITH A CIVIC AND INSTITUTIONAL, COMMERCIAL, INDUSTRIAL, OR MISCELLANEOUS USE MUST :

- i. BE A MINIMUM OF 6' WIDE;
- ii. CONTAIN A HEDGE OR LOW WALL A MINIMUM OF 3' HIGH, AND
- iii. HAVE A CANOPY TREE PLANTED EVERY 30 FEET ON CENTER; UNLESS
- iv. THE PROPERTY ABUTS ANOTHER PARKING LOT, IN WHICH CASE A PERIMETER PLANTING AREA IS NOT REQUIRED.

PROVIDED (NORTH):

- 1' WIDE LANDSCAPE STRIP (ADJACENT TO NORTHERN MOST STALL AND MEASURED TO THE PROPOSED STREET DEDICATION LINE)
- 3' HIGH HEDGEROW
- 2 - CANOPY TREES

PROVIDED (EAST):

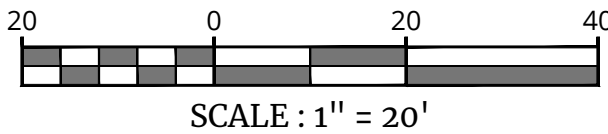
- 6' WIDE LANDSCAPE STRIP
- 3' HIGH HEDGEROW
- 8 - CANOPY TREES

PROVIDED (SOUTH):

- 6' WIDE LANDSCAPE STRIP
- 3' HIGH HEDGEROW
- 3 - CANOPY TREES

LANDSCAPE PLANTING SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CONTAINER	REMARKS
	AA	12	Acer rubrum 'Armstrong'	Armstrong Red Maple	10' - 12'	2-1/2" - 3"	B & B	NATIVE
	LR	2	Liquidambar styraciflua 'Rotundiloba' TM	Round-Lobed Sweet Gum	10' - 12'	2-1/2" - 3"	B & B	SEEDLESS / NATIVE
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CONTAINER	REMARKS
	CF2	5	Cercis canadensis 'Forest Pansy' TM	Forest Pansy Redbud	6' - 8'		B & B	MULTI-STEM / NATIVE
	LW	14	Lagerstroemia x 'Natchez'	White Crape Myrtle Multi-Trunk	6' - 8'		B & B	MULTI-STEM
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		REMARKS
	CB2	6	Cornus stolonifera 'Bailey'	Bailey's Red Twig Dogwood	18" - 24"	5 GAL.		NATIVE
	IS3	37	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	18" - 24"	5 GAL.		NATIVE
	IVR	24	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	18" - 24"	5 GAL.		Add 1 Male Pollinator for every 5 Female Shrubs
	VA	69	Viburnum rhytidophyllum 'Alleghany'	Leatherleaf Viburnum	18" - 24"	5 GAL.		NATIVE
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
	HB	202	Heuchera x 'Blackout'	Blackout Coral Bells	12" DIA.	1 GAL.	24" O.C.	
	JB	55	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	12" DIA.	2 GAL.	36" O.C.	
	LVR	35	Liriope muscari 'Variegata'	Variegated Lilyturf	12" DIA.	2 GAL.	24" O.C.	
	LB	183	Liriope muscari 'Big Blue'	Big Blue Lilyturf	12" DIA.	2 GAL.	24" O.C.	



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PHONE: (202) 772-5808

SIGNATURE: _____

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1	11/10/21	JLCOME	CME		
2	11/30/21				



11/30/2021

Jonathan M. Jolley
MARYLAND LANDSCAPE ARCHITECT
LICENSE NUMBER: 3497
COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN
#820220030

CROSSROADS OF
KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13
MONTGOMERY COUNTY
MARYLAND

Colliers Engineering & Design
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22375 Broderick Drive,
Suite 110
Sterling, VA 20166
Phone: 703.430.4330
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 08/30/2021 DRAWN BY: JMJ CHECKED BY: JMJ
PROJECT NUMBER: 20002505A DRAWING NAME: C-LAND

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L1.0

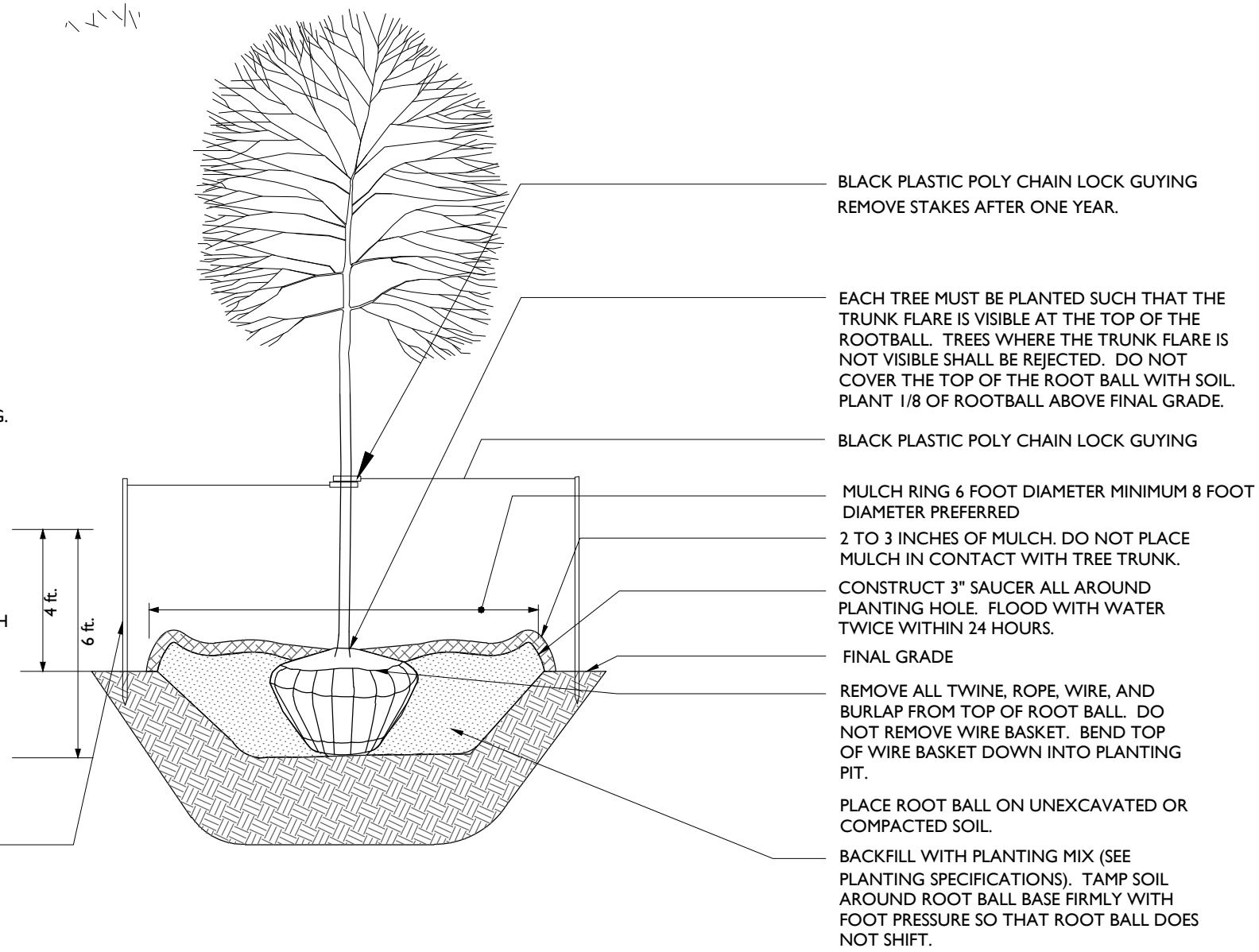
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

20200000205054Engineering\Site Plans\LAND.dwg, L1.1 By: CDEK1

NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES AS SHOWN.
3. DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.
4. TIGHTEN GUYS ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. GUYS SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND BUFFER ALL BRANCHES.
5. TUCK ANY LOOSE ENDS OF THE GUY SO THAT NO LOOSE ENDS ARE EXPOSED.
6. CONTRACTOR TO REMOVE AND GRADE OUT PLANTING SAUCER AT END OF ONE YEAR MAINTENANCE PERIOD. AREA AROUND TREES SHALL BE GRADED SMOOTH TO ELIMINATE MOUNDING. CONTRACTOR TO REMULCH AREA AROUND TREE WHEN GRADING IS COMPLETE.

INSTALL TWO STAKES ON OPPOSITE SIDES OF TREE, PARALLEL TO THE DIRECTION OF THE PREVAILING WINDS, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL INTO PREFERABLY UNEXCAVATED SOIL.



DECIDUOUS B & B TREE PLANTING DETAIL (TREES 3" CAL. OR SMALLER)

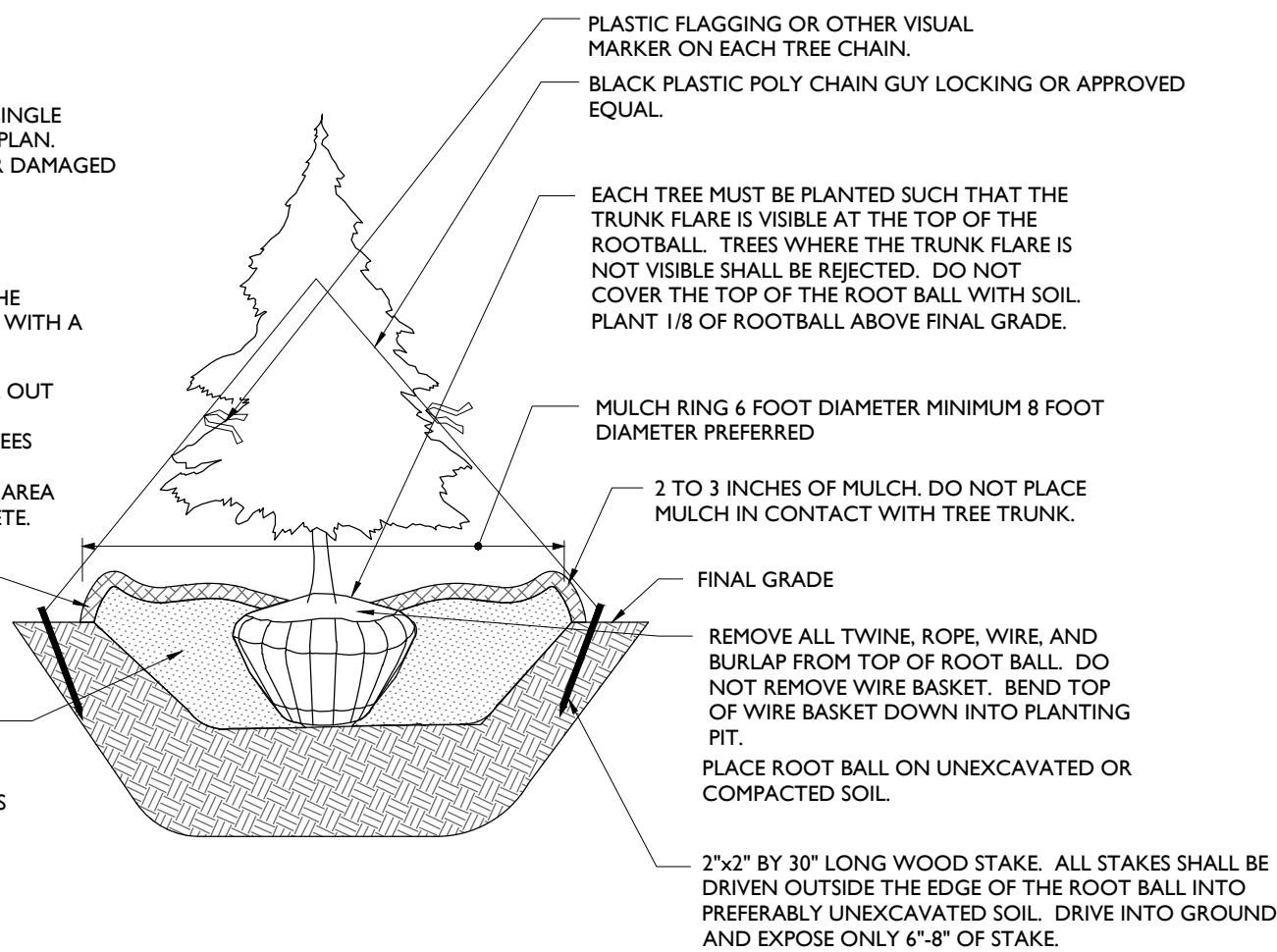
N.T.S.

NOTES:

1. SELECT ONLY NURSERY STOCK WITH A SINGLE LEADER UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTS WITH CO-DOMINANT, MISSING, OR DAMAGED LEADERS SHALL BE REJECTED.
2. STAKE TREES AS SHOWN.
3. DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.
4. CONTRACTOR TO REMOVE AND GRADE OUT PLANTING SAUCER AT END OF ONE YEAR MAINTENANCE PERIOD. AREA AROUND TREES SHALL BE GRADED SMOOTH TO ELIMINATE MOUNDING. CONTRACTOR TO REMULCH AREA AROUND TREE WHEN GRADING IS COMPLETE.

CONSTRUCT 3" SAUCER ALL AROUND PLANTING HOLE. FLOOD WITH WATER TWICE WITHIN 24 HOURS.

BACKFILL WITH PLANTING MIX (SEE PLANTING SPECIFICATIONS). TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.



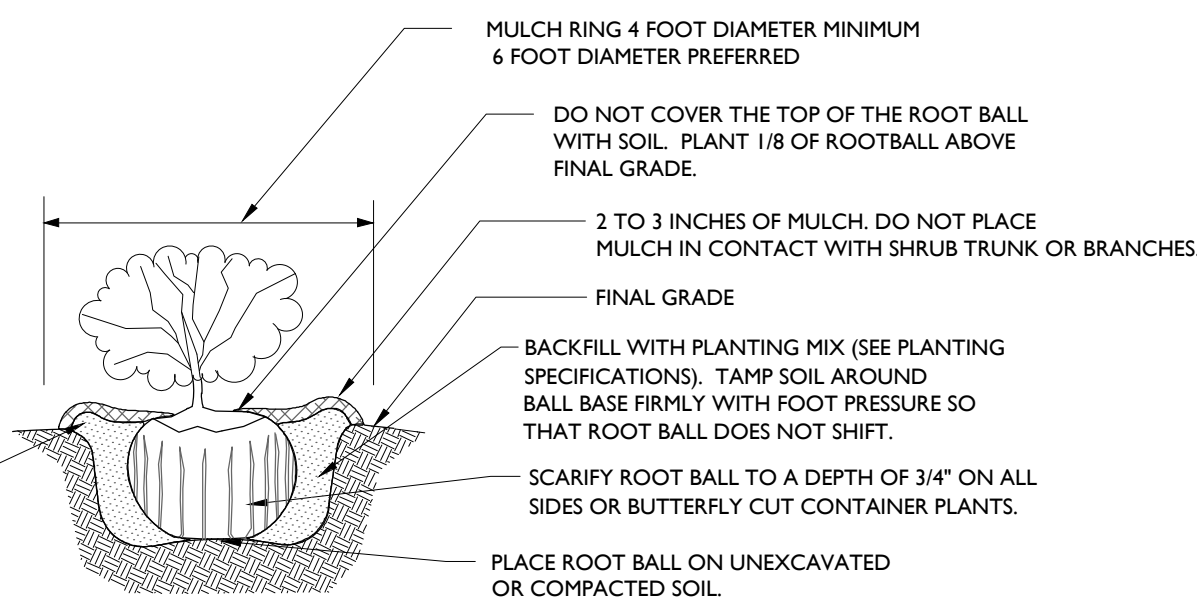
EVERGREEN B & B TREE PLANTING DETAIL

N.T.S.

NOTES:

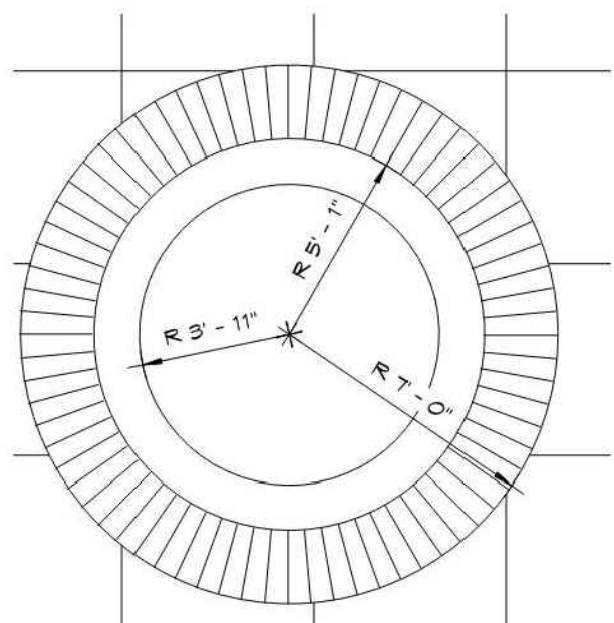
1. DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN, DAMAGED, OR DISEASED BRANCHES.
2. DIG PLANTING PIT 24" WIDER THAN THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 36".
3. FOR B&B SHRUBS: REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP OF ROOT BALL.
4. ALL CONTAINERS SHALL BE REMOVED BEFORE INSTALLATION.

CONSTRUCT 3" SAUCER RIM ALL AROUND. FLOOD WITH WATER TWICE WITHIN THE 24 HOURS AFTER PLANTING.



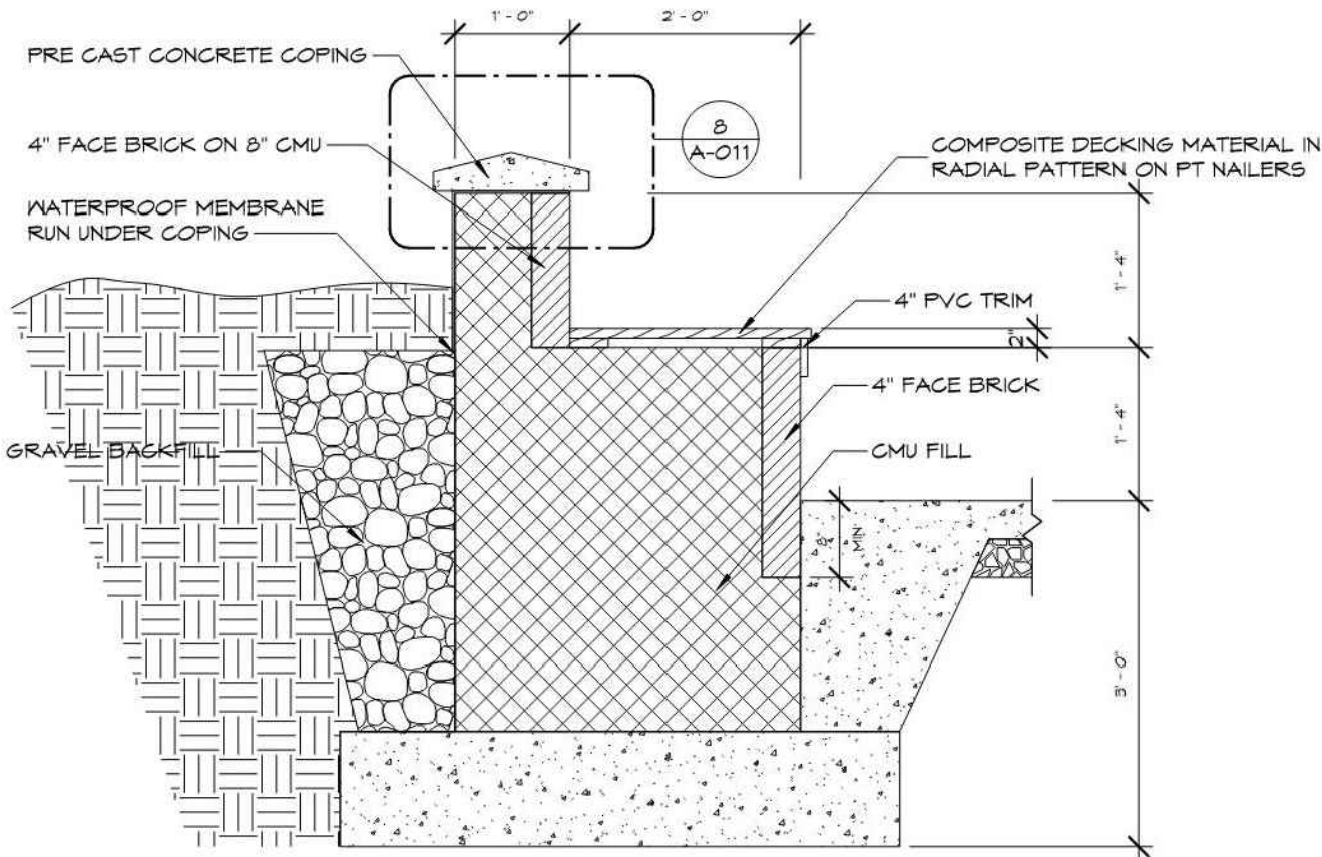
INDIVIDUAL SHRUB PLANTING DETAIL - B & B AND CONTAINER SHRUBS

N.T.S.



PLANTER PLAN

N.T.S.



PLANTER DETAIL

N.T.S.

LANDSCAPE NOTES

1. GENERAL NOTES:

- 1.1. THIS PLAN IS TO BE USED ONLY FOR THE PURPOSES OF LANDSCAPING.
- 1.2. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. NOTIFY MASER CONSULTING IMMEDIATELY, IN WRITING, IN REFERENCE TO DISCREPANCIES OR LOCATION CONFLICTS.
- 1.3. IN THE EVENT THAT PLANT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSEDE.
- 1.4. ALL PLANTING MATERIALS AND METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE ORDINANCES OF MONTGOMERY COUNTY, MARYLAND AND ANSI Z-60.1 (CURRENT VERSION), THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. IN THE EVENT OF CONFLICT BETWEEN A.A.N. AND MUNICIPAL STANDARDS, THE MUNICIPAL REQUIREMENTS SHALL SUPERSEDE.
- 1.5. ALL LANDSCAPING SHALL BE PLANTED SO AS TO NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES OR PUBLIC WALKWAYS OR OTHER EXISTING OR PROPOSED STRUCTURES. ALL PLANT MATERIAL PROPOSED WITHIN THE REQUIRED SITE DISTANCES OR SIGHT TRIANGLES ARE SELECTED SO AS TO NOT EXCEED A MATURE GREATER THAN 30' ABOVE THE ELEVATION OF THE ADJACENT ROADWAY. STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESSES, OR WITHIN REQUIRED SIGHT DISTANCES OR SIGHT TRIANGLE EASEMENTS SHALL NOT BE BRANCHES ANY LOWER THAN 10'-0" ABOVE GRADE, AND MUST BE APPROPRIATELY PRUNED. NO WOODY PLANTS, EXCEPT GROUNDCOVERS, ARE TO HAVE THEIR CENTERS CLOSER THAN 36" TO THE BACK OF THE CURB.

2. PLANT MATERIAL

- 2.1. NO PLANT SUBSTITUTION SHALL BE ALLOWED WITH REGARD TO SIZE, SPECIES, NAMED VARIETY OR CULTIVAR, WITHOUT PRIOR PERMISSION IN WRITING FROM MASER CONSULTING AND THE APPROVING AUTHORITY.
- 2.2. ALL PLANTS SHALL BE DUG, PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY DESICCATION.
- 2.3. ALL PLANTS SHALL BE FREE FROM DISEASE AND INFESTATION, AND SHALL BEAR ALL LEGALLY REQUIRED AGRICULTURAL CERTIFICATIONS.
- 2.4. ALL PLANTS SHALL BE PRUNED TO ENHANCE VIGOR PRIOR TO, OR UPON INSTALLATION, WHILE RETAINING NATURAL GROWTH HABIT OF THE PLANTS. THE CENTRAL LEADER SHALL NOT BE CUT; PLANTS PROVIDED IN THIS CONDITION SHALL NOT BE ACCEPTED. DAMAGED, BROKEN OR CONFLICTING BRANCHES SHALL BE PRUNED CLEANLY, FLUSH WITH THE MAIN TRUNK OR BRANCH.
- 2.5. ALL PLANTS SHALL BE NURSERY-GROWN AND TAGGED WITH A DURABLE LABEL INDICATING THE GENUS, SPECIES AND SPECIFIED VARIETY OR CULTIVAR.
- 2.6. ALL SCREEN PLANT MATERIAL SHALL BE MINIMUM OF 3 FEET.

3. PLANTING

- 3.1. SOIL MUST BE FROST-FREE, FRIABLE AND NOT MUDDY AT THE TIME OF PLANTING.
- 3.2. BACKFILL MATERIAL FOR PLANTING PUTS SHALL BE COMPOSED OF 70% TOPSOIL, 20% FULLY COMPOSTED COW OR HORSE MANURE AND 10% PEAT MOSS. TOPSOIL SHALL MEET MARYLAND STATE FOREST CONSERVATION MANUAL STANDARD SPECIFICATIONS AND MAY BE FROM ON-SITE OR IMPORTED SOURCES. SOIL SHALL CONTAIN NO ACIDIC MARL, NOR ANY LARGE STONES.
- 3.3. PLANTS SHALL BE SET TO ULTIMATE FINISHED GRADE SO THAT THEY WILL BE LEFT IN THE RELATIONSHIP TO THE SURROUNDING GROUND AS THEY HAS PRIOR TO BEING DUG; IF EVIDENCE OF SATURATED SOILS IS ENCOUNTERED DURING EXCAVATION OF THE PLANTING PITS, UPON DIRECTION BY MASER CONSULTING, PLANTS SHALL BE SET SO THAT THEIR ROOT CROWNS ARE APPROXIMATELY THREE INCHES ABOVE THE FINAL GRADE, WITH TOPSOIL AND MULCH GENTLY MOUNDED TO AVOID EXCESSIVE DRYING AT THE SURFACE. UNDER NO CIRCUMSTANCES SHALL PLANTINGS AT RELATIVELY DRY LOCATIONS BE PERFORMED IN A MOUNDED MANNER.
- 3.4. THE CORD BINDING THE BALL OF ALL BALLED AND BURLAPPED (B&B) PLANTS SHALL BE CUT AND REMOVED, AND BURLAP ON THE UPPER 1/2 OF THE ROOT BALL SHALL BE REMOVED. PLANTS WITH SYNTHETIC NON-DEGRADABLE ROOT BALL WRAPS SHALL NOT BE ACCEPTABLE.
- 3.5. ALL PROPOSED TREES SHALL BE SET IN BEDS MULCHED TO THE LIMIT OF THEIR PLANTING PITS. ALL PROPOSED SHRUBS SHALL BE SET IN CONTINUOUS, MASSES PLANTING BEDS, RATHER THAN ISOLATED INDIVIDUALS. ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" THICK APPLICATION OF A THOROUGHLY COMPOSTED ORGANIC MULCH FREE OF ANY OBJECTIONABLE OR FOREIGN MATERIALS.
- 3.6. ALL TREES GREATER THAN TWELVE FEET IN HEIGHT SHALL BE STAKED AND GUYED PER THE DETAILS.
- 3.7. ALL DISTURBED AREAS BEYOND THE LIMITS OF THE MULCHED PLANTING BEDS AND AREAS OF HERBACEOUS PLANTINGS SHALL BE PERMANENTLY STABILIZED WITH TURF GRASSES PER THE SOIL EROSION AND SEDIMENT CONTROL PLANTS.

4. MAINTENANCE

- 4.1. ALL PLANTINGS SHALL BE WATERED AS NECESSARY FOR SOUND HORTICULTURAL PRACTICE DURING THE FIRST GROWING SEASON, TO ENSURE THEIR PROPER ESTABLISHMENT.

PLANTING SPECIFICATIONS

1. PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION, AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN. WHERE DISCREPANCIES EXIST BETWEEN STANDARDS & GUIDELINES REFERENCED WITHIN THESE SPECIFICATIONS AND THE LANDSCAPE MANUAL OF THE APPLICABLE JURISDICTION, THE LATTER TAKES PRECEDENCE.
2. ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, THAT IS NOT NURSERY GROWN, UNIFORMLY BRANCHED, DOES NOT HAVE A VIGOROUS ROOT SYSTEM, AND DOES NOT CONFORM TO THE MOST RECENT EDITION OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA) STANDARDS WILL BE REJECTED. PLANT MATERIAL THAT IS NOT HEALTHY, VIGOROUS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS WILL BE REJECTED. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL BE REJECTED. ALL B & B PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
3. UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO THE MOST RECENT EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC, & VA", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
4. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 18 MONTHS AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION ON THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AND APPROPRIATE UTILITY COMPANIES, UTILITY CONTRACTORS, AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO THE BEGINNING OF ANY WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. MAJOR CHANGES WILL REQUIRE THE APPROVAL OF THE LANDSCAPE ARCHITECT. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
6. PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED VIA THE TEMPORARY INSTALLATION OF 4 FOOT HIGH SNOW FENCE AT THE DRIP LINE, SEE DETAIL.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION. LANDSCAPE PLANTS ARE NOT TO BE INSTALLED BEFORE SITE IS GRADED TO FINAL GRADE.
8. CONTRACTOR TO REGRADE, FINE GRADE, SOD, HYDRO SEED AND STRAW MULCH ALL AREAS DISTURBED BY THEIR WORK.
9. BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM ACTUAL SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
10. PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN TAKE PRECEDENCE. WHERE DISCREPANCIES ON THE PLAN EXIST BETWEEN THE SYMBOLS AND THE CALLOUT LEADER, THE NUMBER OF SYMBOLS TAKE PRECEDENCE.
11. ALL SHRUBS AND GROUNDCOVER AREAS SHALL BE PLANTED IN CONTINUOUS PLANTING BEDS, PREPARED AS SPECIFIED, UNLESS OTHERWISE INDICATED ON PLANS. (SEE SPECIFICATION 13). BEDS TO BE MULCHED WITH MINIMUM 2" AND MAXIMUM 3" OF COMPOSTED, DOUBLE-SHREDDED HARDWOOD MULCH THROUGHOUT.
12. POSITIVE DRAINAGE SHALL BE MAINTAINED ON PLANTING BEDS (MINIMUM 2 PERCENT SLOPE).
13. BED PREPARATION SHALL BE AS FOLLOWS: TILL INTO A MINIMUM DEPTH OF 6" 1 YARD OF COMPRO OR LEAFGRO PER 200 SF OF PLANTING BED, AND 1 YARD OF TOPSOIL PER 100 SF OF BED. ADD 3 LBS OF STANDARD 5-10-5 FERTILIZER PER CUBIC YARD OF PLANTING MIX AND TILL.
14. PLANTING MIX: FOR TREES NOT IN A PREPARED BED, MIX 50% COMPRO OR LEAFGRO WITH 50% SOIL FROM TREE HOLE TO USE AS BACKFILL, SEE TREE PLANTING DETAIL.
15. WEED & INSECT CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. FOR TREE PLANTING, APPLY A PRE-EMERGENT ON TOP OF SOIL AND ROOT BALL BEFORE MULCHING. CAUTION: FOR AREAS TO BE PLANTED WITH A GROUND COVER, BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUNDCOVER TO BE TREATED. MAINTAIN THE MULCH WEED-FREE FOR THE EXTENT OF THE WARRANTY PERIOD. UNDER NO CIRCUMSTANCES IS A PESTICIDE CONTAINING CHLORPYRIFOS TO BE USED AS A MEANS OF PEST CONTROL.
16. WATER: ALL PLANT MATERIAL PLANTED SHALL BE WATERED THOROUGHLY THE DAY OF PLANTING. ALL PLANT MATERIAL NOT YET PLANTED SHALL BE PROPERLY PROTECTED FROM DRYING OUT UNTIL PLANTED. AT A MINIMUM, WATER UNPLANTED PLANT MATERIAL DAILY AND AS NECESSARY TO AVOID DESICCATION.
17. PRUNING: DO NOT HEAVILY PRUNE TREES AND SHRUBS AT PLANTING. PRUNE ONLY BROKEN, DEAD, OR DISEASED BRANCHES.
18. ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED, GRASS SEED PLANTED, AND COVERED WITH STRAW MULCH.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 820220030, INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: MOUNTAIN VIEW BURLISON, LLC

ADDRESS: 1825 EYE STREET NW, DC, 20006

PHONE: (202) 772-5808

SIGNATURE: _____

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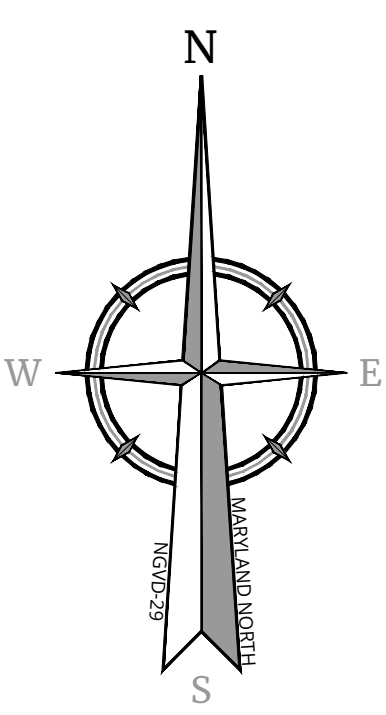
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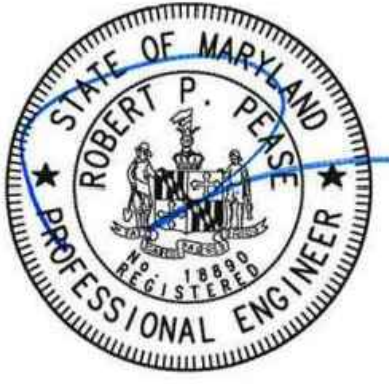
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LICENSE NUMBER: 18890
COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN
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CROSSROADS OF KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13
MONTGOMERY COUNTY
MARYLAND



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PROJECT NUMBER:		DRAWING NAME:	
20002505A		C-LGHT	

LIGHTING PLAN

SHEET NUMBER:

L1.2

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SITE LUMINAIRE SCHEDULE:

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lamp Type	LLF	Description
	6	A	SINGLE	LED	-	LITHONIA DSX0-LED-P1-40K-BLC- MVOLT-SPA-PIRH, LED, MOUNTING HEIGHT: 25' (POLE MOUNTED W/ HOUSE SIDE SHIELD)
	4	B	SINGLE	LED	-	LITHONIA WST-LED-P1-40K-VW-MVOLT MOUNTING: 8' A.F.G. (CANOPY MOUNTED)
	26	C	SINGLE	LED	-	EL DORADO LED ED-LED-E66-MFL-A9 7W/208V/LED DOWNLIGHT (BUILDING MOUNTED)

- * COORDINATE WITH MANUFACTURE FOR INSTALLATION GUIDELINES
- * REFER TO MANUFACTURE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON LUMINAIRES, POLES AND SUPPORT BRACKETS SYSTEMS
- * OWNER / DEVELOPER SHALL SELECT FINAL LUMINAIRE & POLE STYLE, COLORS AND ELECTRICAL RATINGS. (OWNER SHALL OBTAIN COUNTY APPROVAL PRIOR TO ORDER)
- * OWNER / DEVELOPER AND GENERAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL WIRING AND POWER SUPPLY SYSTEMS PRIOR TO ORDER AND INSTALLATION.
- * LUMINAIRE SYMBOLS ON THIS PLAN ARE OVER SIZED FOR CLARITY.

REFER TO ARCHITECTURAL ELECTRICAL SITE PLAN SHEET FOR POLE MOUNTED LIGHTING FIXTURE DETAIL AND POLE BASE DETAIL, SHEET E100. EL DORADO WALL SCONCE BUILDING MOUNTED LUMINAIRES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL LOCATE ALL BUILDING MOUNTED FIXTURES, INCLUDING THE LITHONIA CANOPY LUMINAIRES AS PER THE ARCHITECTURAL AND ELECTRICAL PLANS ONLY.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. _____, INCLUDING APPROVED CONDITIONS, DEVELOPMENT PROGRAM AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: MOUNTAIN VIEW BURLESON, LLC

ADDRESS: 1825 EYE STREET NW, DC , 20006

PHONE: (202) 772-5808 _____

SIGNATURE: _____

Calculation Summary				
Calc Type	Units	Average	Max	Min
Illuminance	FC	1.20	8.8	0.0




NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

2020/00002654/Engineering/Size Plans/CLGT-Fig1.L1.3 By: CEBCE

EL DORADO LED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:



*Requires magnetic low voltage dimmer.

**Please see Adjust-e-Lume photography to determine desired intensity.

***Accommodates up to 2 lens/shielding media. Two lens/shielding prices required.

CATALOG NUMBER LOGIC

Example: B - ED - LED - e65/e65 - NSP/MFL - A9/A9 - BLP - 12/12 - 11/11 - B

MATERIAL

(Blank) - Aluminum B - Brass S - Stainless Steel

SERIES

ED - El Dorado

SOURCE

LED - with Integral Dimming Driver (25W min. load when dimmed)*

LED TYPE

e64 - 7W LED/2700K e66 - 7W LED/4000K
e65 - 7W LED/3000K e74 - 7W LED/Amber

OPTICS

NSP - Spot (13°) MFL - Medium Flood (23°)
SP - Spot (16°) WFL - Wide Flood (31°)

ADJUST-E-LUME OUTPUT INTENSITY**

A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1

FINISH (See page 2 for full-color swatches)

Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)

Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)

Also available in RAL Finishes

Brass Finishes (MAC, POL, MIT)

Stainless Steel Finishes (MAC, POL)

LENS TYPE***

12 - Soft Focus 13 - Rectilinear

SHIELDING***

11 - Honeycomb Baffle x 2

CAP STYLE

A - 45°
B - 90°
C - Flush
D - 45° Less Weephole (Interior use only)
E - 90° Less Weephole (Interior use only)
F - 90° with Flush

B-K LIGHTING

MADE IN THE USA

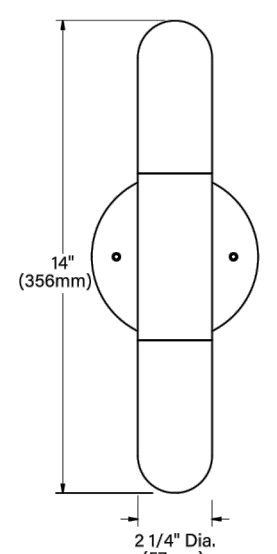
559.438.5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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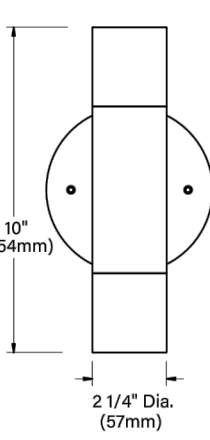
02/21/2020 SKU-777 SUB000943

EL DORADO LED

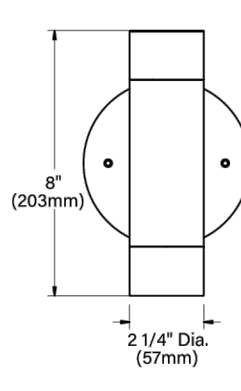
DATE: PROJECT: TYPE:



"A/D" CAP



"B/E/F" CAP



"C" CAP

STANDARD FINISHES

Satin Black (BLP)

Satin Bronze (BZP)

Satin White (WHP)

Satin Aluminum (SAP)

Black Wrinkle (BLW)

Bronze Wrinkle (BZW)

White Wrinkle (WWV)

Verde (VER)

PREMIUM FINISHES

Cascade Mtn. Granite (CMG)

Rocky Mtn. Granite (SMG)

Sierra Mtn. Granite (AMG)

Alutian Mtn. Granite (AMG)

Textured Forest (TXF)

Black Chrome (BCM)

Beige (BOE)

Weathered Copper (WCP)

Old Copper (OCP)

Hunter Green (HUG)

Cracked Ice (CRI)

Mojave Desert Sandstone (MDS)

Antique Brass Powder (ABP)

Brown Patina Powder (BPP)

Sonoran Desert Sandstone (SDS)

Weathered Iron (WIR)

Clear Anodized Powder (CAP)

Cream (CRM)

Antique White (AQW)

Natural Brass Powder (NBP)

Click Here to view larger, full-color swatches of all available finishes on our website.

B-K LIGHTING

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02/21/2020 SKU-777 SUB000943

SCONCE LUMINAIRE DETAIL

LITHONIA LIGHTING


Submittal Spec Sheet

D-Series Pole Mount (DSX0)

OVERVIEW

Pedestrian in scale only, the D-Series LED Area, Size 0 is an extraordinary luminaire that can be configured to meet any site's lighting needs. The versatility and power of this luminaire prove big things really do come in small packages. Coupled with Light® AIR wireless controls, the D-Series family provides enhanced end-user experiences and unmatched energy savings.

The sleek design reflecting the embedded high-performance LED outdoor lighting technology makes the D-Series, Size 0 the ideal choice for campuses, bike paths, walkways, and retail sites.



The product images shown are for illustration purposes only and may not be an exact representation of the product.

ORDERING INFORMATION					
DSX0 LED P1 40K BLC MVOLT HS SPA PIRH DBLXD					
Series*	Lamp Type*	LED Configuration*			
DSX0	D-Series Size 0 LED Area Luminaire	LED	LED	P1	Package 1
				P10	Package 10
				P11	Package 11
				P12	Package 12
				P13	Package 13
				P2	Package 2
				P3	Package 3
				P4	Package 4
				P5	Package 5
Correlated Color Temperature*		Distribution*		Lens Type and Pattern	
30K	3000K	BLC	Backlight control	TSM	Type V Medium
40K	4000K	LCCO	Left Corner Culet Optic	TSD	Type V Short
50K	5000K	RCCO	Right Corner Culet Optic	TSV3	Type V Very short
AMBP	Amber, Phosphor Converted	T1S	Type I Short	TSW	Type V Wide
		T2M	Type II Medium	TFTM	Forward throw medium
		T2S	Type II Short		
		T3M	Type III Medium		
		T3S	Type III Short		
		T4M	Type IV Medium		
				DOL	Diffuse drop lens

LITHONIA LIGHTING

One Lithonia Way Conyers, GA 30012 • Phone: 800-705-7378 • www.acuitybrands.com

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Page 1 of 3

POLE MOUNTED SITE LUMINAIRE DETAIL

LITHONIA LIGHTING

Anchor Base Poles

SSA

SQUARE STRAIGHT ALUMINUM FLORIDA RATINGS

FEATURES & SPECIFICATIONS

INTENDED USE — Square straight aluminum general purpose pole for up to 35 foot mounting heights.

CONSTRUCTION — Shaft: Made from extruded 6063-T6 or 6061-T6 aluminum alloy, square tube is uniform in cross-section down length of shaft with no taper.

Hand hole: Reinforced rectangular hand hole is located 18" above base, 4" poles have 2" x 4" hand hole; 5" and 6" poles have 2.5" x 4" hand hole. Hand hole cover plate made from aluminum alloy.

Hardware: Stainless steel

Top cap: Removable top cap provided with drill-mount poles.

Ball covers: Nut cover discs provided. Optional cast aluminum base cover available.

FINISH — Must specify finish.

GROUNDING — Provision located inside hand hole rim. Grounding hardware is not included (provided by others).

ANCHOR BOLTS — Fabricated from carbon steel bar with minimum-yield strength of 55,000 psi. Upper portion of anchor bolt is galvanized per ASTM A-153. Each anchor bolt is furnished with two hex nuts and two flat washers.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSA 20 4C DM19 BA

SSA	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ¹	Options	Finish ²
SSA	(See technical information table for complete ordering information.)	(See technical information table for complete ordering information.)	Tenon mounting PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS) Drill mounting ³ DM19 1 at 90° CP13xxx 3/4" coupling ⁴ CP14xxx 1" coupling ⁴ CP15xxx 1 1/2" coupling ⁴ DM28L 2 at 180° DM29 2 at 90° NPL12xx 1/2" threaded nipple ⁴ NPL14xx 3/4" threaded nipple ⁴ NPL16xx 1" threaded nipple ⁴ DM49 4 at 90° CSK/OSK/ABRS/DM680**/H/A/KAX drill mounting ⁵ DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° DM19ASL 1 at 90° DM28ASL 2 at 180° DM29ASL 2 at 90° DM39ASL 3 at 90° DM49ASL 4 at 90° DM19ASRT... ABRS**Suspend drill mounting ⁴ DM680**Suspend drill mounting ⁴ DMxASRT...	Shipped installed L/AB Less anchor bolts (include when anchor bolts are not needed) V/D Vibration dampener TP Tamper proof H1-18xx Horizontal arm bracket (1 fixture) ¹⁴ FDLxx Festoon outlet less electrical ¹⁵ CP12xxx 3/4" coupling ⁴ CP13xxx 1" coupling ⁴ CP14xxx 1 1/2" coupling ⁴ DM28L 2 at 180° DM29 2 at 90° NPL12xx 1/2" threaded nipple ⁴ NPL14xx 3/4" threaded nipple ⁴ NPL16xx 1" threaded nipple ⁴ DM49 4 at 90° CSK/OSK/ABRS/DM680**/H/A/KAX drill mounting ⁵ DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° DM19ASL 1 at 90° DM28ASL 2 at 180° DM29ASL 2 at 90° DM39ASL 3 at 90° DM49ASL 4 at 90° DM19ASRT... ABRS**Suspend drill mounting ⁴ DM680**Suspend drill mounting ⁴ DMxASRT...	Standard colors DOB Dark bronze DWH White DMB Medium bronze DLA Black DMA Natural aluminum BA Brushed aluminum Classic colors DSS Sandstone DGC Charcoal grey DTG Tennis green DDB Bright red DSB Steel blue EHLxx Extra handlehole ¹⁶ MEX Match existing ¹ ANNA Natural Architectural colors (powder finish) ¹⁷

NOTES

1. When ordering tenon mounting and drill mounting for the same pole, follow this example: DM20/PT. The combination includes a required extra handlehole.
2. 3-1/2" and 4" tenons available 5" and 6" shafts only.
3. Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
4. Insert 1" or 1 1/2" to designate fixture size, e.g. DM19AS2.
5. Specify location and orientation when ordering option. For 1st 1/2" specify the height in feet above base of pole. Example: PT = 5 and 20ft = 20
6. 3-1/2" and 4" tenons available 5" and 6" shafts only.
7. Refer to the Handhole Orientation diagram on this page.
8. Horizontal arm is 18" x 2 x 3/8" O.D. tenon standard.
9. Combination of three top and different includes extra handlehole.
10. Must add original order number.
11. Use when rail certifications are required.
12. Finish must be specified. Additional colors available. See www.lithonia.com/architects or Architectural Colors brochure (Form No. 794-3).

Handhole Orientation

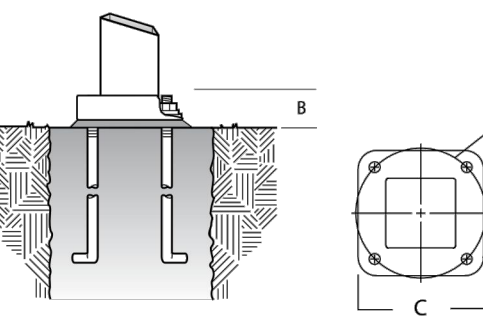
IMPORTANT INSTALLATION NOTES:
• Do not erect poles without bailing fixtures installed.
• Factory-applied templates must be used when setting under bails. Lithonia Lighting will not accept damage for incorrect anchorage placement due to failure to use factory template.
• If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
• Lithonia Lighting is not responsible for the foundation design.

SSA Square Straight Aluminum Poles, Florida Ratings

TECHNICAL INFORMATION								
Catalog Number	Nominal shaft length (ft.)	Pole Shaft Size (in. x ft)	Wall Thickness (in)	EPA (Effective Projected Area) expressed in Ft.2, Maximum 3 second gust per ASHRAE 2009, FBC			Approximate ship (lbs.)	
				Maximum weight (Lbs.)	Max EPA 130 mph (Side Mount)	Max EPA 150 mph (Side Mount)		
SSA 8 4C	8	4 x 8	0.125	100	5.4	3.3	3/4 x 18 x 3	32
SSA 10 4C	10	4 x 10	0.125	100	3	1.2	3/4 x 18 x 3	37
SSA 12 4C	12	4 x 12	0.125	100	1	0	3/4 x 18 x 3	40
SSA 14 4C	14	4 x 14	0.125	0	0	0	3/4 x 18 x 3	50
SSA 15 4C	15	4 x 15	0.125	0	0	0	3/4 x 18 x 3	52
SSA 16 4C	16	4 x 16	0.125	0	0	0	3/4 x 18 x 3	54
SSA 16 4G	16	4 x 16	0.188	0	0	0	3/4 x 30 x 3	74
SSA 16 5G	16	5 x 16	0.188	100	2.2	0	3/4 x 30 x 3	83
SSA 18 4C	18	4 x 18	0.125	0	0	0	3/4 x 18 x 3	57
SSA 18 4G	18	4 x 18	0.188	0	0	0	3/4 x 30 x 3	80
SSA 18 5G	18	5 x 18	0.188	0	0	0	3/4 x 30 x 3	91
SSA 20 4C	20	4 x 20	0.125	0	0	0	3/4 x 18 x 3	62
SSA 20 4G	20	4 x 20	0.188	0	0	0	3/4 x 30 x 3	85
SSA 20 5G	20	5 x 20	0.188	0	0	0	3/4 x 30 x 3	107
SSA 20 6G	20	6 x 20	0.188	0	0	0	1 x 36 x 4	155
SSA 20 6J	20	6 x 20	0.250	100	1.9	0	1 x 36 x 4	202
SSA 25 5G	25	5 x 25	0.188	0	0	0	3/4 x 30 x 3	130
SSA 25 6G	25	6 x 25	0.188	0	0	0	1 x 36 x 4	180
SSA 25 6J	25	6 x 25	0.250	0	0	0	1 x 36 x 4	224
SSA 30 6G	30	6 x 30	0.188	0	0	0	1 x 36 x 4	210
SSA 30 6J	30	6 x 30	0.250	0	0	0	1 x 36 x 4	258
SSA 32 6J	32	6 x 32	0.250	0	0	0	1 x 36 x 4	272
SSA 35 6J	35	6 x 35	0.250	0	0	0	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35	0.250	0	0	0	1 x 36 x 4	290

EPA values are based upon the fixture being mounted 0 ft. above the pole top and 2 ft. 0 in. eccentric to the pole center line.

*For 10 ft increments, add 4 to the pole height. E.c. 20 ft equals 20 ft.



Shift base size	Bolt circle A	Bolt projection B	Base square C	Template description	Anchor bolt description
4"	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE P150045	AB18-0
4"	8.5" - 9.625"	3.125"	9.938"	ABTEMPLATE P150045	AB30-0
5"	10.5" - 11.5"	3.25"	11.563"	ABTEMPLATE P150046	AB30-0
6"	12" - 13"	4"	12.25"	ABTEMPLATE P150044	AB30-0
7"	14.625"	4.125"	15"	ABTEMPLATE P150130	AB30-0

LITHONIA LIGHTING

OUTDOOR: One Lithonia Way Conyers, GA 30012 Phone: 770-822-9000 www.lithonia.com

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POLE-SSA-FLA

POLE-SSA-FLA

Colliers

Engineering & Design

www.colliersengineering.com

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REVISIONS

REV. DATE DRAWN BY DESCRIPTION

1 11/10/21 JLCONE REVISED PER FIRST SUBMISSION COMMENTS

2 11/2/21 CME REVISION PER SECOND SUBMISSION COMMENTS

STATE OF MARYLAND

ROBERT P. PEASE

11/30/2021

Robert Paul Pease

MARYLAND PROFESSIONAL ENGINEER

LICENSE NUMBER: 18890

COLLIERS ENGINEERING & DESIGN, INC.

SITE PLAN

#820220030

CROSSROADS OF KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13

MONTGOMERY COUNTY

MARYLAND

Colliers

Engineering & Design

STERLING 22375 Broderick Drive, Suite 110 Sterling, VA 20166 Phone: 703.430.4330 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN

DATE: 08/30/2021

DRAWN BY: JMJ

CHECKED BY: JMJ

PROJECT NUMBER: 20002505A

DRAWING NAME: CL-GH1

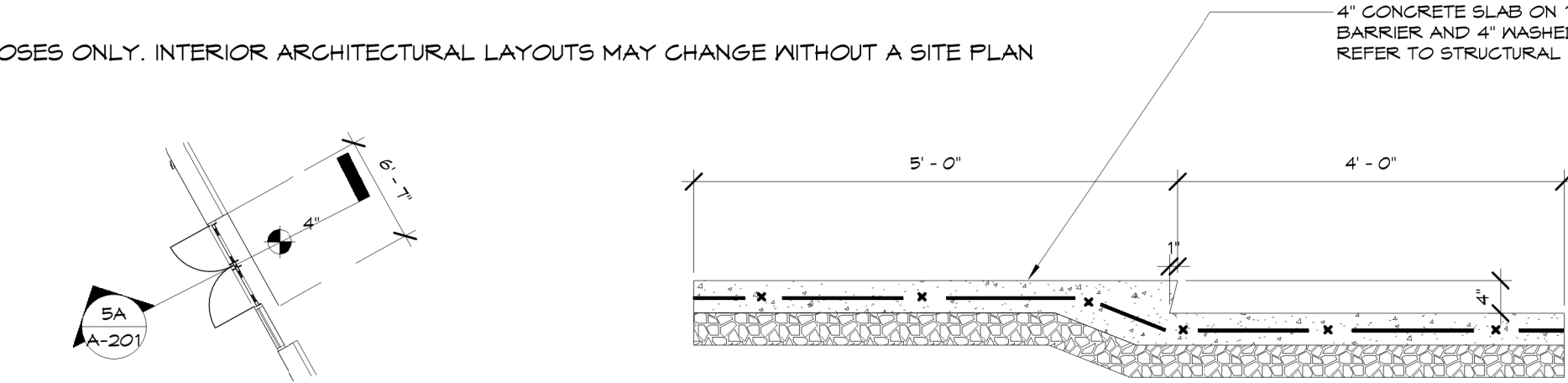
SHEET TITLE: LIGHTING DETAILS

SHEET NUMBER: L1.3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

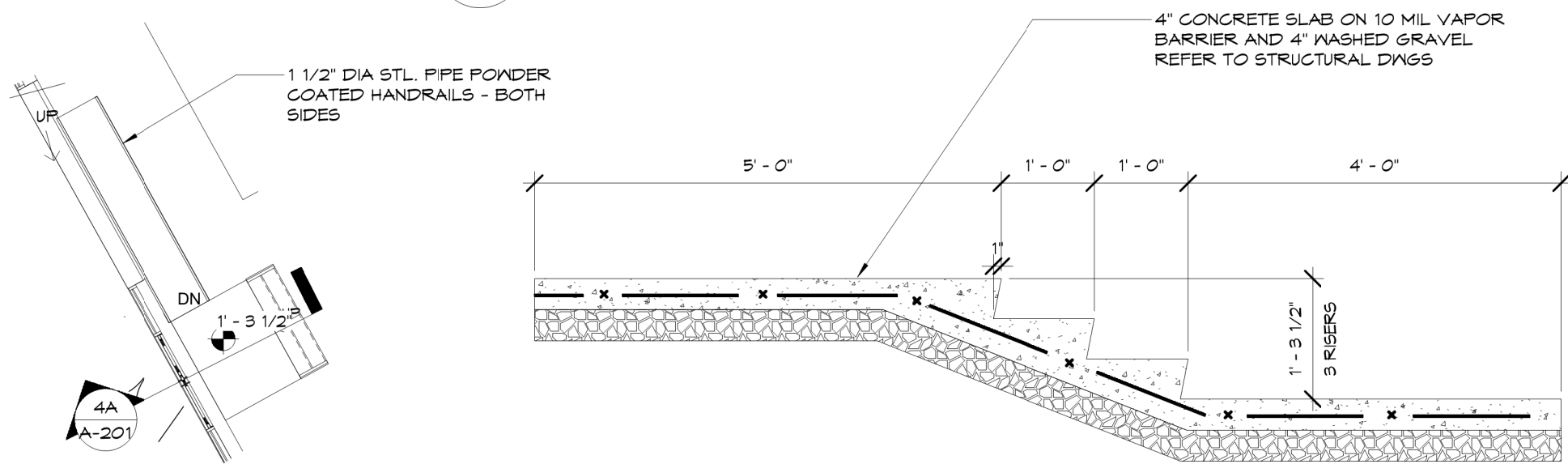
GENERAL NOTE

FOR ILLUSTRATIVE PURPOSES ONLY. INTERIOR ARCHITECTURAL LAYOUTS MAY CHANGE WITHOUT A SITE PLAN AMENDMENT



5 ENTRANCE DETAIL
A-201 SCALE: 1/8" = 1'-0"

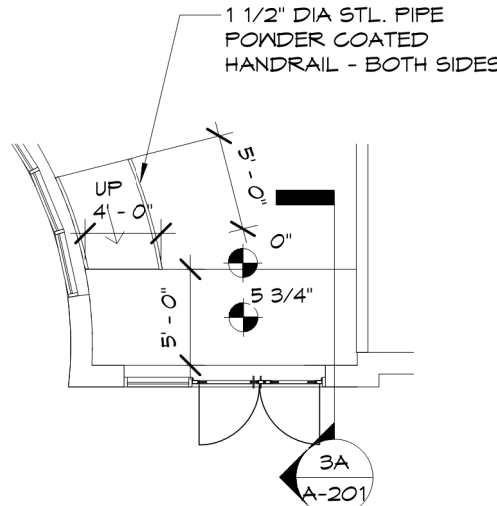
5A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"



4 ENTRANCE DETAIL
A-201 SCALE: 1/8" = 1'-0"

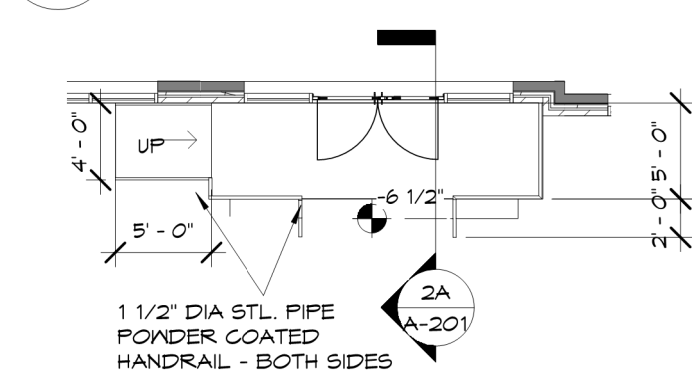
4A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"

KEYED NOTES	
9	POUR 4" OF SLAB AROUND PERIMETER OF TENANT SPACES
10	WASHED GRAVEL
12	GAS METER STACK, REFER TO M-101
15	CORTEN STEEL PANEL, WITH RELIEF LETTER SIGNAGE
26	PTD STL LADDER
27	MTL STUD DEMISING WALL
28	PROVIDE (2) 4" CONDUITS FOR TELECOM/DATA FROM BUILDING DEMARK TO TENANT MECHANICAL ROOM, LOCATION TO BE DETERMINED DURING TENANT FIT OUT.
29	POUR REMAINDER OF SLAB AFTER TENANT RUNS THEIR UTILITIES
34	CONCRETE STEM WALL SEE DETAIL 5/A-510, REFER TO STRUCTURAL DWGS
41	WALL HYDRANT - REFER TO MECHANICAL DWGS
42	MAIN DISTRIBUTION PANEL
43	METER BANK NO. 1
44	ELECTRICAL PANEL
45	ELECTRICAL HEATER, REFER TO MEP FOR ADDITIONAL INFORMATION
46	OVERFLOW DISCHARGE NOZZLE
50	CLEAN OUT - REFER TO MECHANICAL DWGS
56	LONG TERM BIKE SPACE



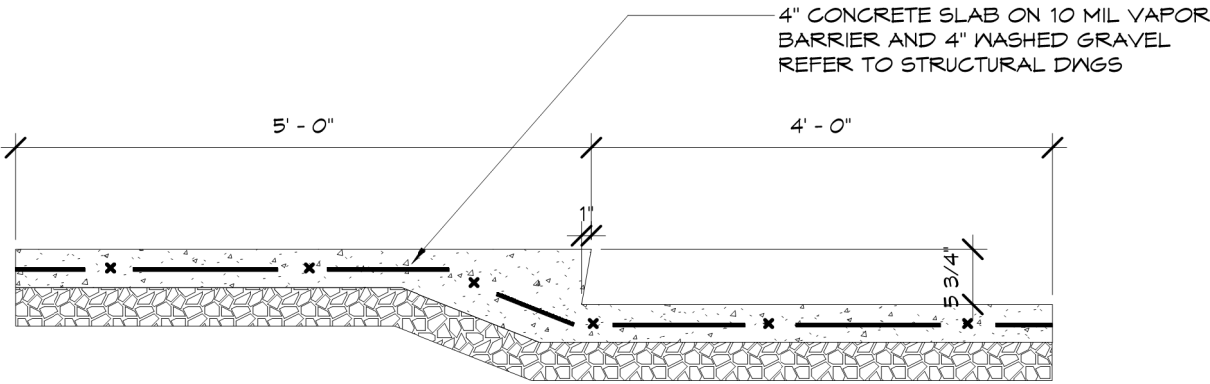
3 ENTRANCE DETAIL
A-201 SCALE: 1/8" = 1'-0"

3A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"

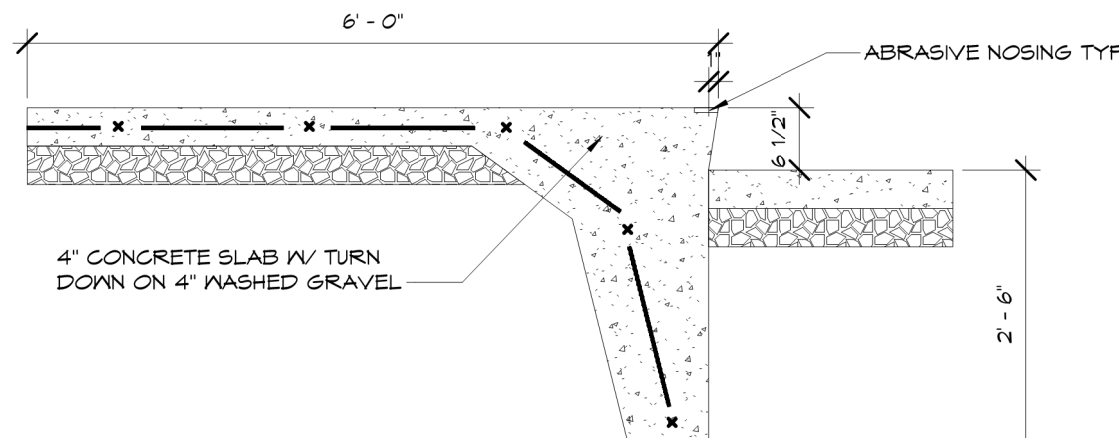


2 ENTRANCE DETAIL
A-201 SCALE: 1/8" = 1'-0"

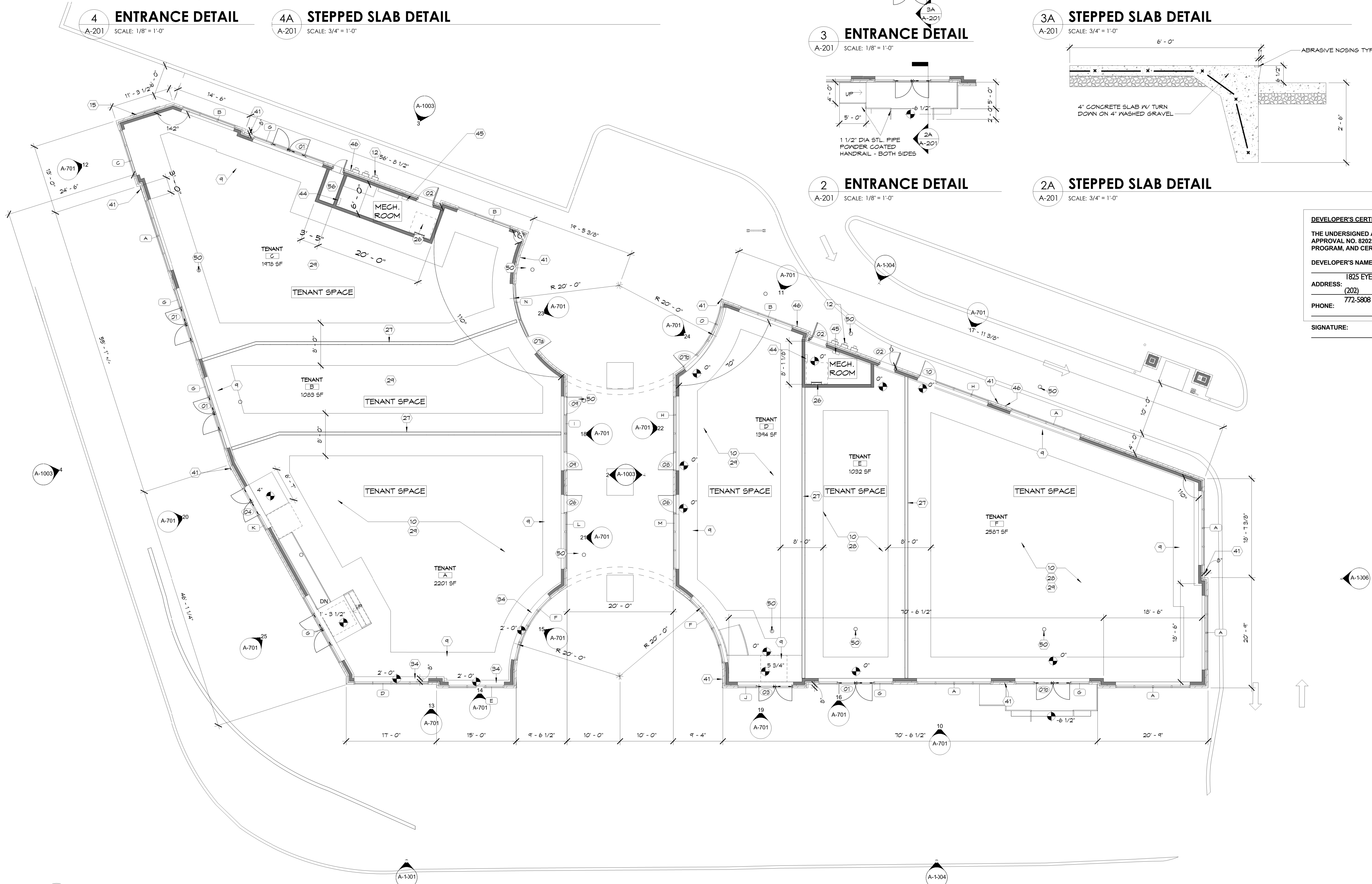
2A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"



1A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"



1A STEPPED SLAB DETAIL
A-201 SCALE: 3/4" = 1'-0"



1 FIRST FLOOR
A-201 SCALE: 1/8" = 1'-0"

GENERAL NOTES: FLOOR PLANS

SCALE: 1/4" = 1'-0"

GENERAL NOTES: FLOOR PLANS

- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
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- GO TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL 4, U.N.O.

GENERAL NOTES: FLOOR PLANS

SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

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DD: REVIEWER INITIALS: BZ DATE: 5/31/21

CD: REVIEWER INITIALS: BZ DATE: 7/07/21

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MD.

LICENSE NUMBER 3286, EXPIRATION DATE 05-14-22

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 820220030, INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: MOUNTAIN VIEW BURLINSON, LLC

ADDRESS: 1825 EYE STREET NW, DC, 20006

PHONE: (202) 772-5808

SIGNATURE:

CROSSROADS OF KENSINGTON

PROJECT ADDRESS:
10619 Connecticut Ave
Kensington, MD

SHEET TITLE:
FIRST FLOOR

JOB NUMBER: 24041

DRAWING NUMBER:

A-201

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

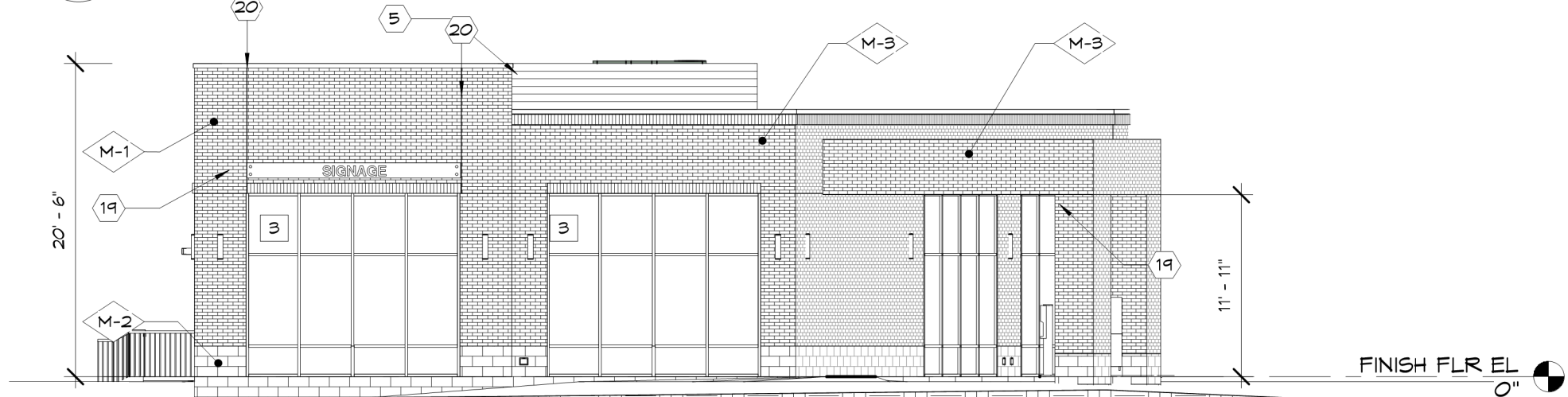
GENERAL NOTE:

WHERE SPECIFIC BUILDING MATERIALS ARE IDENTIFIED, SUBSTITUTIONS WITH DIFFERENT BUILDING MATERIALS MAY BE PERMITTED BY STAFF, AS LONG AS THE SUBSTITUTION IS IN KEEPING WITH THE CHARACTER AND DESIGN INTENT APPROVED BY THE PLANNING BOARD AND SHOWN ON THE CERTIFIED SITE PLAN.

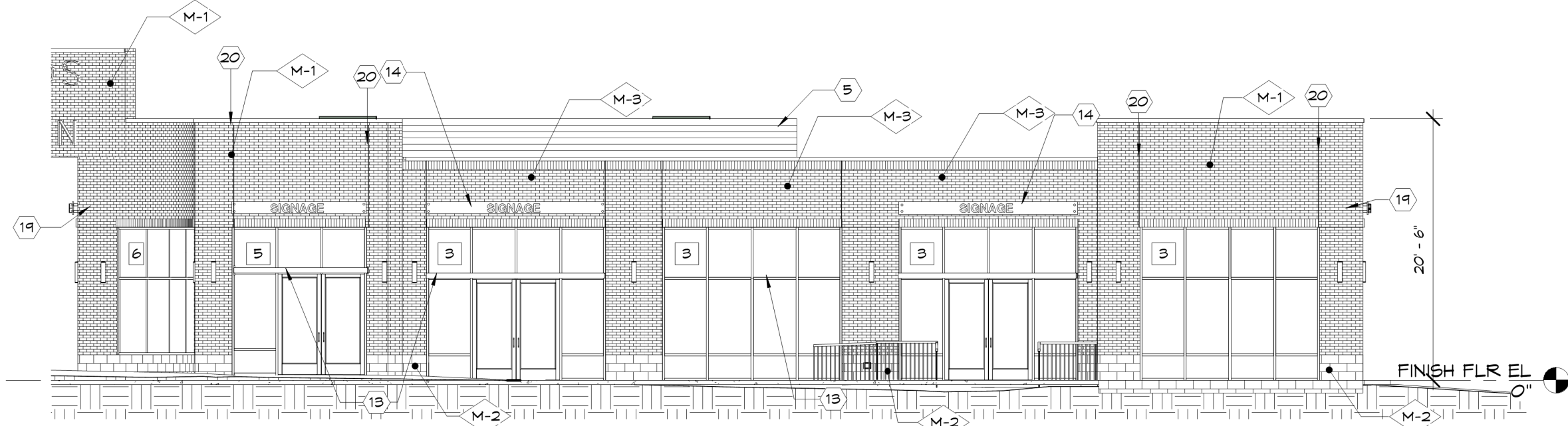
SIGNAGE NOT REGULATED BY SITE PLAN

CRT STANDARD METHOD STANDARDS		
HEIGHT (MAX)		28' - 0"
MASSING		
UNITS PERMITTED N ON ROW	N/A	N/A
BUILDING ORIENTATION		
ENTRANCE FACING STREET OR OPEN SPACE	REQUIRED	MET
ENTRANCE SPACING (MAX)	100'	LESS THAN
TRANSPARENCY FOR WALLS FACING A STREET OR OPEN SPACE	40%	40%
GROUND STORY, FRONT (MIN)	25%	40%
GROUND STORY, SIDE/REAR (MIN)	20%	25%
UPPER STORY (MIN)	35'	N/A
BLANK WALL, FRONT (MAX)	35'	N/A
SPECIFICATIONS FOR BUILDING ORIENTATION AND TRANSPARENCY		
ALLOWED BUILDING ELEMENTS		
GALLERY/WINING	YES	YES
PORCH/SOOP	YES	N/A
BALCONY	YES	N/A

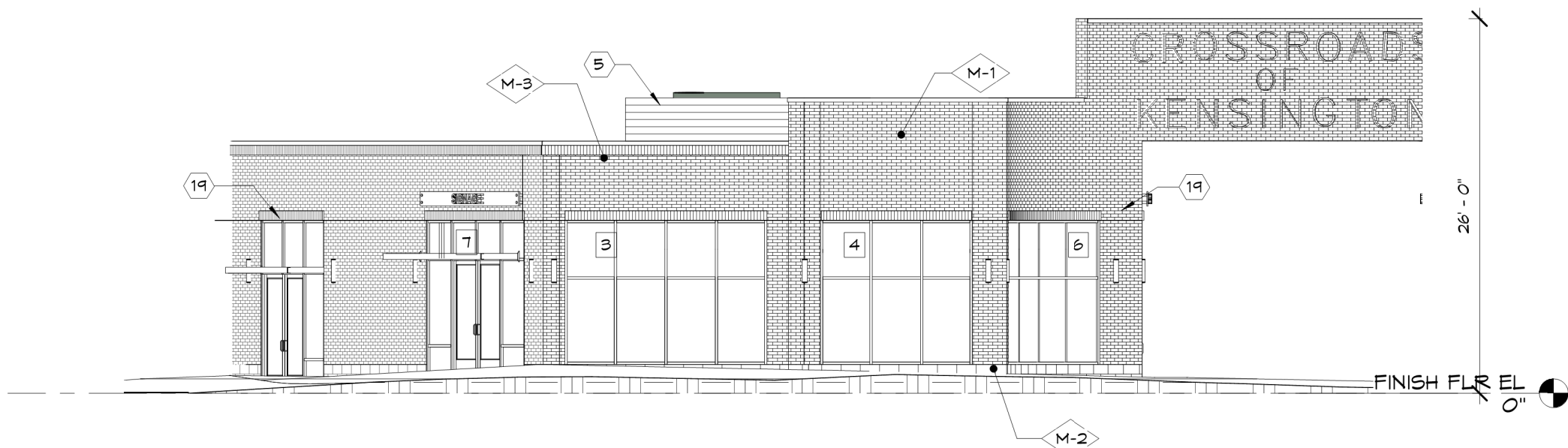
11 CRT STANDARD METHOD STANDARDS
A-301 SCALE: 1/4" = 1'-0"



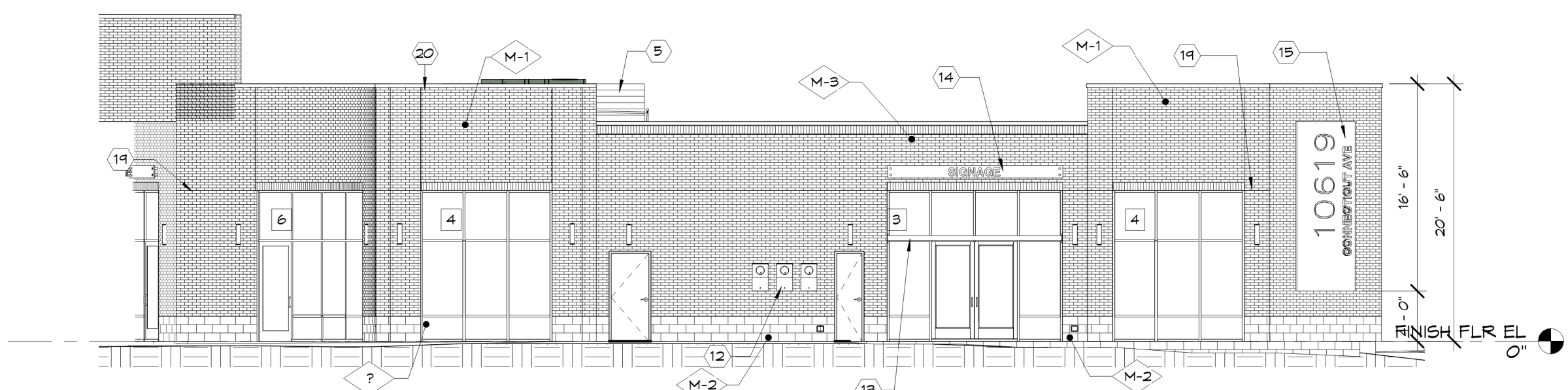
2 BLDG 1 - ELEVATION B
A-301 SCALE: 1/8" = 1'-0"



3 BLDG 1 - ELEVATION C
A-301 SCALE: 1/8" = 1'-0"






5 BLDG 2 - ELEVATION A
A-301 SCALE: 1/8" = 1'-0"

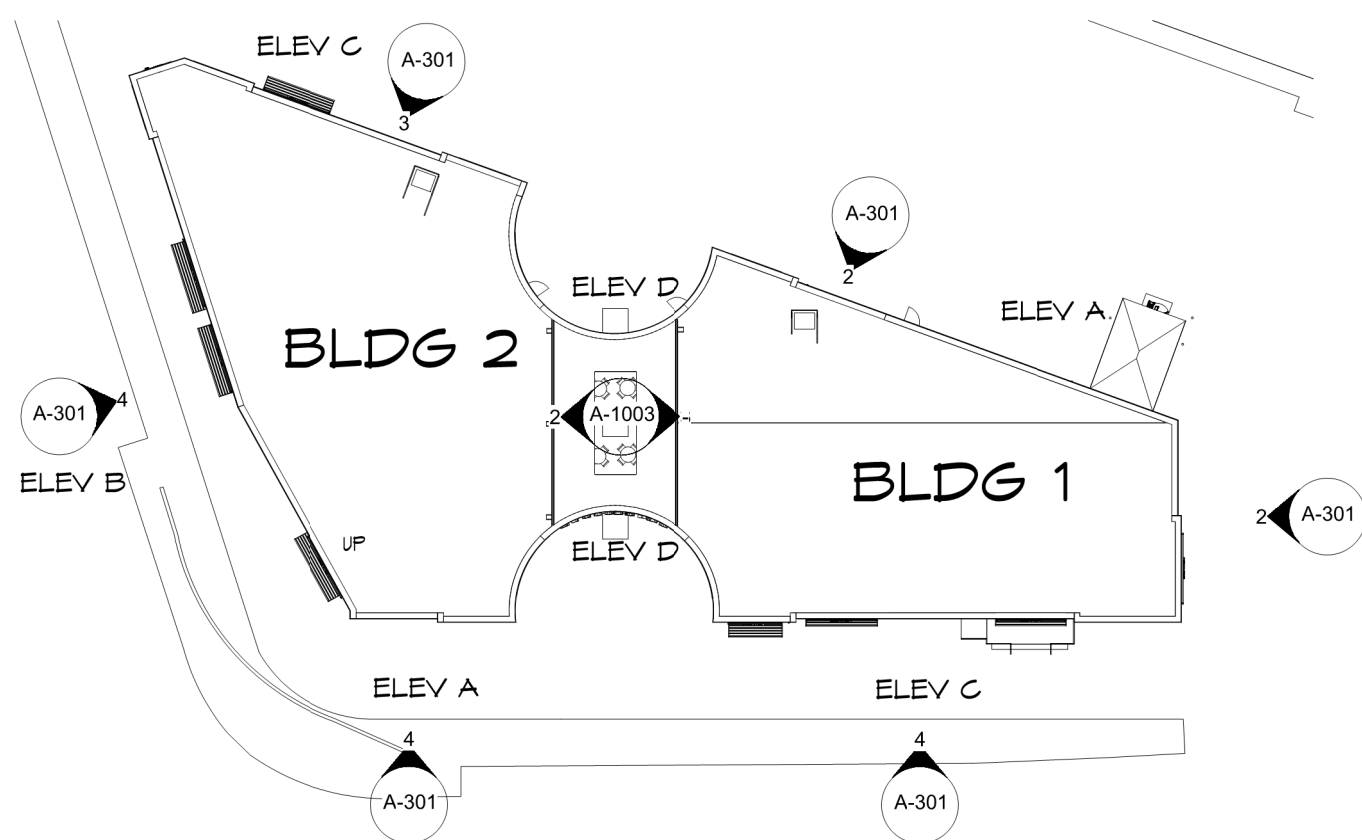


7 BLDG 2 - ELEVATION C
A-301 SCALE: 1/8" = 1'-0"

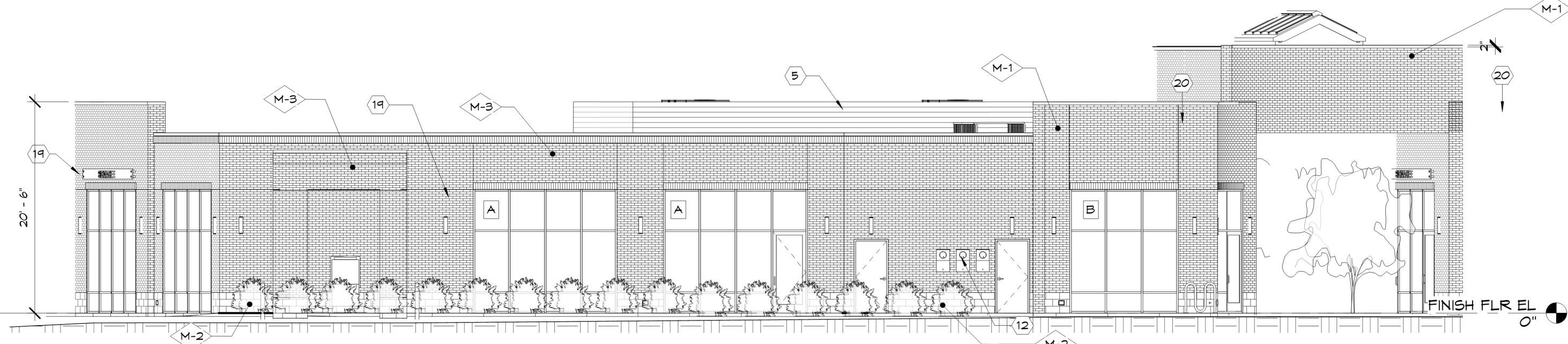
KEYED NOTES	
5	PROVIDE METAL LOUVERED SCREENING FOR FUTURE RTUS - REFER TO DETAIL 11/A-206 AND STRUCTURAL DINGS
12	GAS METER STACK, REFER TO M-101
13	YKKAP 30" SQUARE OUTRIGGER THERMASHADE, OR EQUIVALENT
14	8" ALUMINUM PIN MOUNTED LETTERS OVER FIBER CEMENT SMOOTH PANEL (SIGNAGE BY TENANT)
15	CORTEN STEEL PANEL, WITH RELIEF LETTER SIGNAGE
14	CONTROL JOINT
20	EXPANSION JOINT

EXTERIOR MATERIAL LEGEND						
KEY		MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
M-1		BRICK - 1	MATSONTOWN BRICK	MANHATTAN	BROADWAY KT	
M-2		DECORATIVE CMU	HASERSTOWN BLOCK COMPANY	GROUND FACE	GR 640H IVORY BUFF	
M-3		BRICK - 2	MATSONTOWN BRICK	MANHATTAN	TBD	
NOTES:						

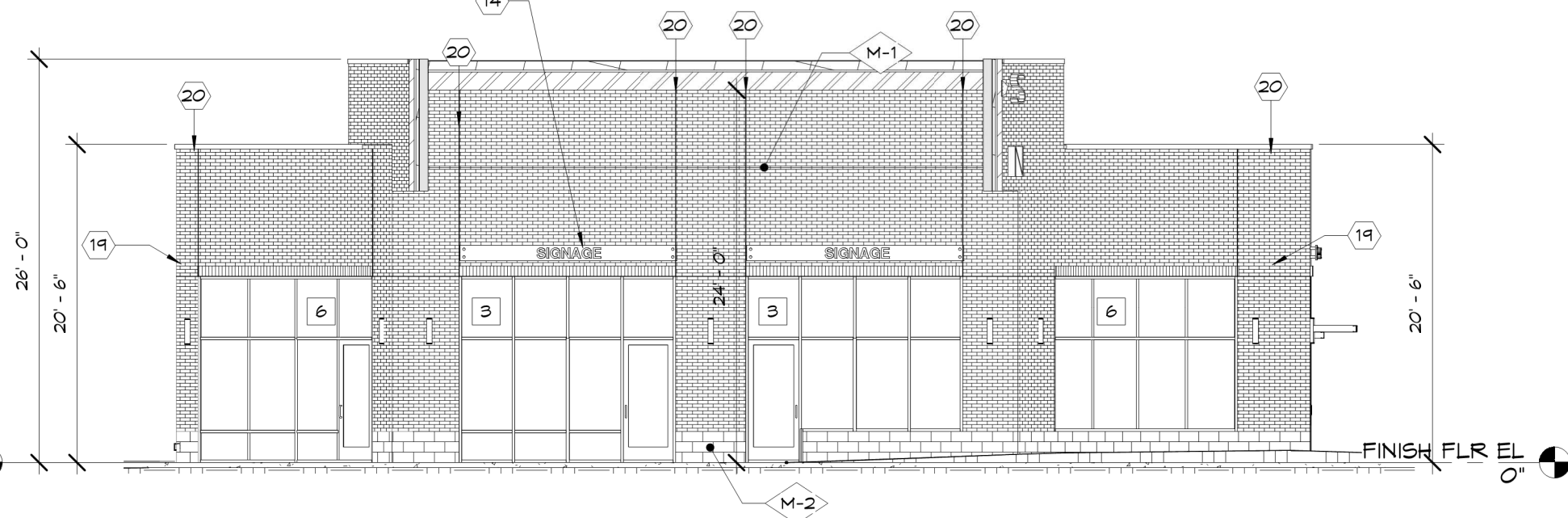
10 EXTERIOR MATERIAL LEGEND
A-301 SCALE: 1/8" = 1'-0"



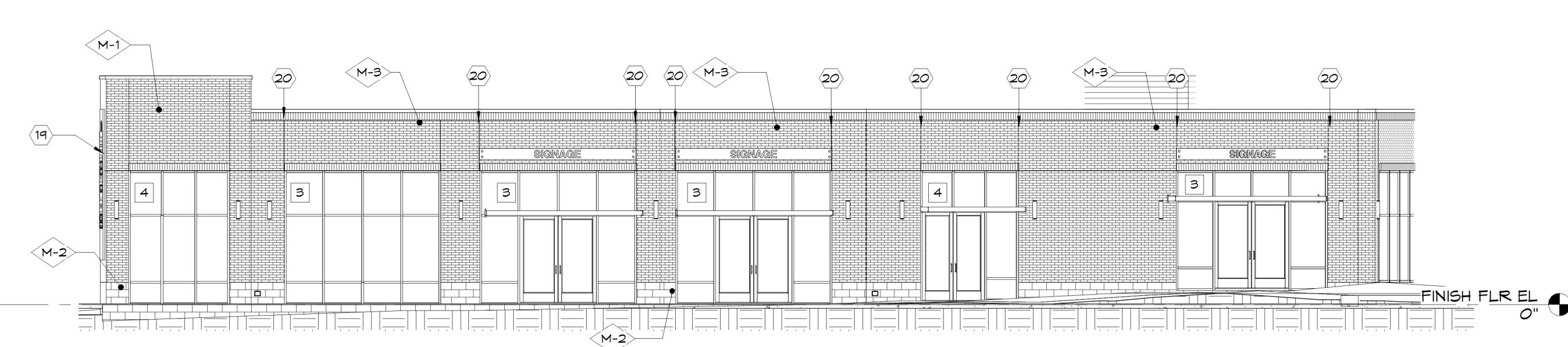
9 KEY PLAN
A-301 SCALE: 1" = 30'-0"



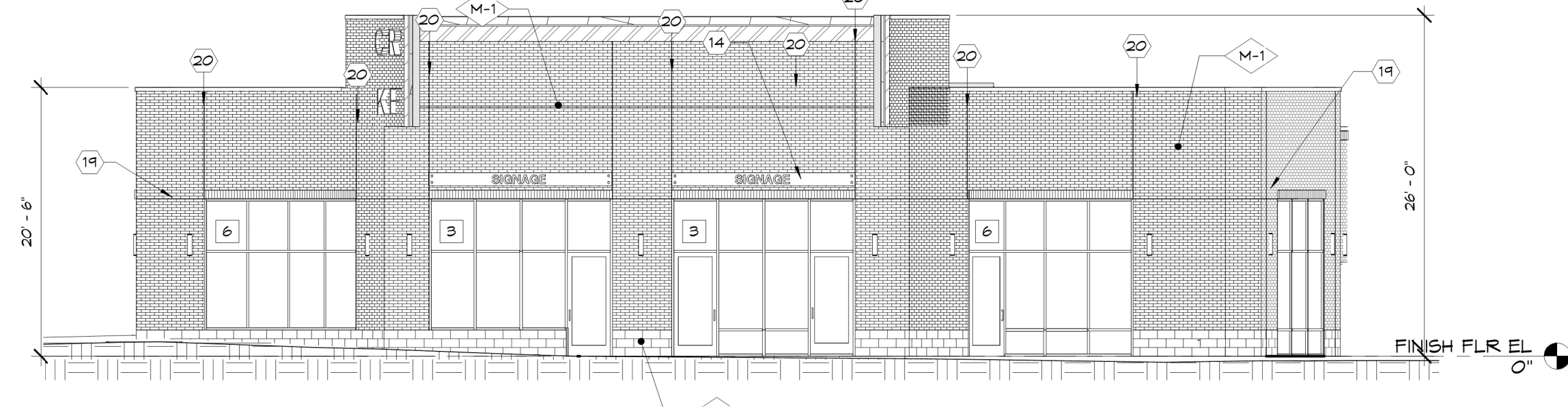
1 BLDG 1 - ELEVATION A
A-301 SCALE: 1/8" = 1'-0"



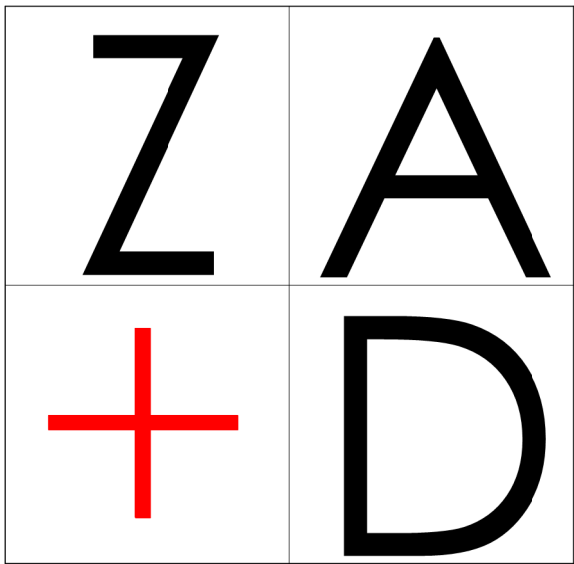
4 BLDG 1 - ELEVATION D
A-301 SCALE: 1/8" = 1'-0"



6 BLDG 2 - ELEVATION B
A-301 SCALE: 1/8" = 1'-0"



8 BLDG 2 - ELEVATION D
A-301 SCALE: 1/8" = 1'-0"



ZA+D design

ZA+D interiors

ZA+D possiv

Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE
1	65% PROGRESS SET	06/15/21
2	PERMIT SET	10/08/21
3	SITE PLAN RESUBMISSION	11/10/21

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

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ZAVOS ARCHITECTURE+DESIGN, LLC.

QUALITY CONTROL REVIEW:

DD: REVIEWER INITIALS: BZ DATE: 5/31/21

CD: REVIEWER INITIALS: BZ DATE: 7/07/21

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MD. LICENSE NUMBER 5286, EXPIRATION DATE 05-14-22

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 820220030, INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: MOUNTAIN VIEW BURLESON, LLC

ADDRESS: 1825 EYE STREET NW, DC, 20006

(202)

PHONE: 772-5808

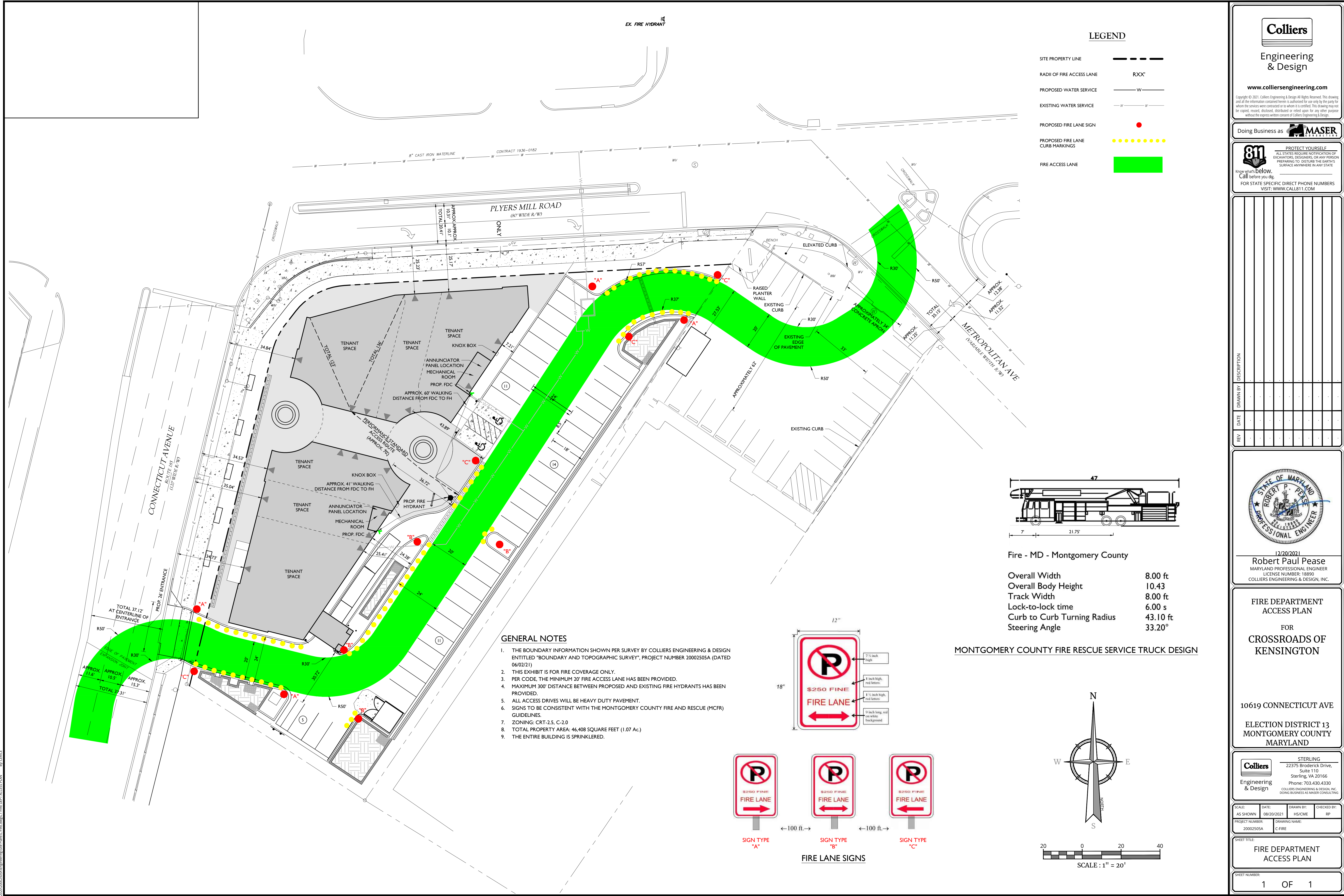
SIGNATURE:

CROSSROADS OF KENSINGTON
PROJECT ADDRESS:
10619 Connecticut Ave
Kensington, MD

SHEET TITLE:
ELEVATIONS

JOB NUMBER: 20401
DRAWING NUMBER:

A-301
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



Colliers

Engineering & Design

www.colliersengineering.com

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MASER CONSULTING

811

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STATE OF MARYLAND

ROBERT P. PEASE

PROFESSIONAL ENGINEER

12/20/2021

Robert Paul Pease

MARYLAND PROFESSIONAL ENGINEER

LICENSE NUMBER: 18890

COLLIERS ENGINEERING & DESIGN, INC.

FIRE DEPARTMENT ACCESS PLAN

FOR CROSSROADS OF KENSINGTON

10619 CONNECTICUT AVE

ELECTION DISTRICT 13

MONTGOMERY COUNTY

MARYLAND

STERLING

22375 Broderick Drive, Suite 110

Sterling, VA 20166

Phone: 703.430.4330

COLLIERS ENGINEERING & DESIGN, INC.

DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN

DATE: 08/20/2021

DRAWN BY: HS/CME

CHECKED BY: RP

PROJECT NUMBER: 20002505A

DRAWING NAME: C-FIRE

SHEET TITLE: FIRE DEPARTMENT ACCESS PLAN

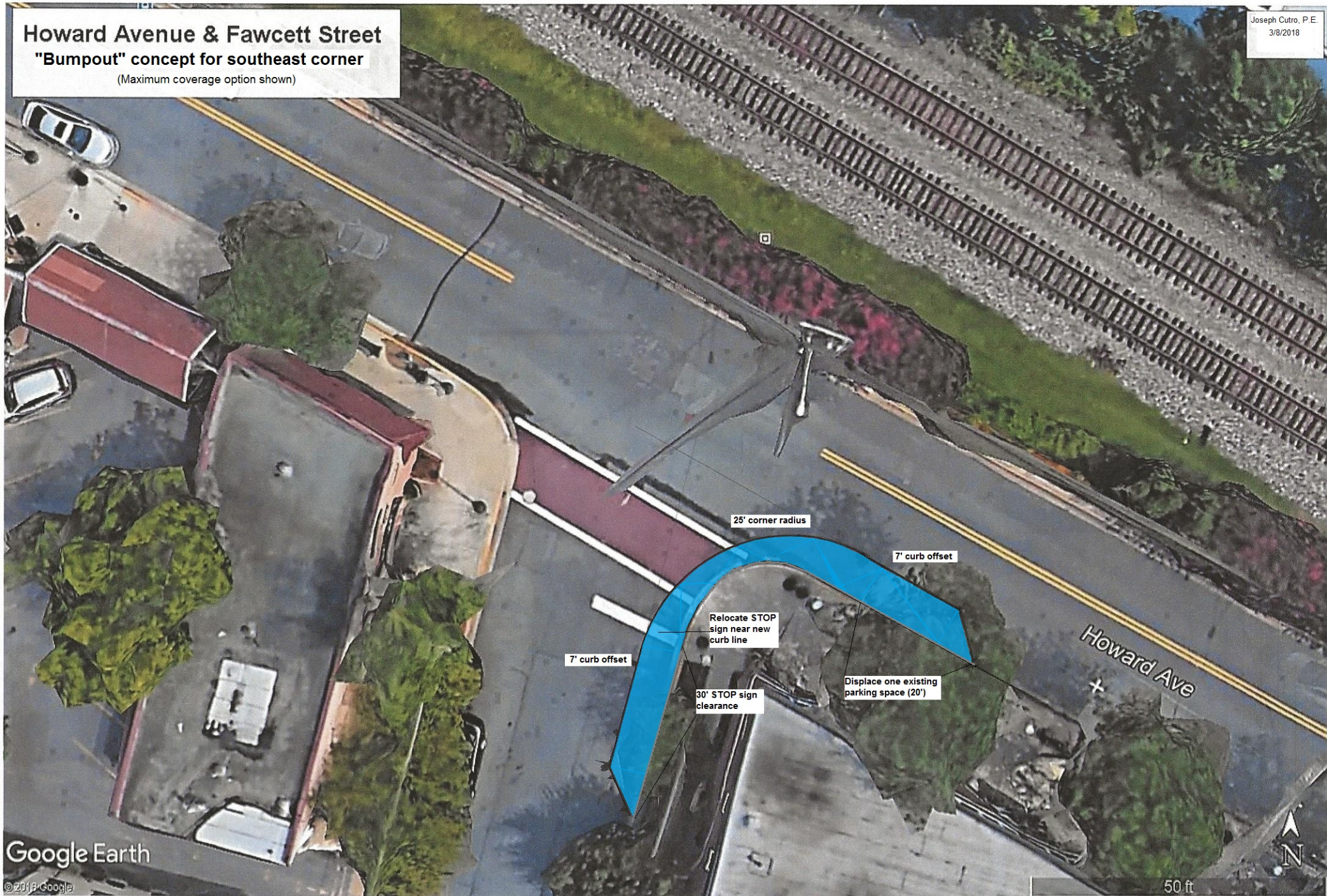
SHEET NUMBER: 1 OF 1

20200002505A\Engineering\Site Plans\C-Fire.dwg: C-FIRE DEPT ACCESS PLAN BY: CENCE

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Howard Avenue & Fawcett Street
"Bumpout" concept for southeast corner
(Maximum coverage option shown)

Joseph Cutro, P.E.
3/8/2018



Town of Kensington - Estimates for Street Improvement Projects 2018:

Intersection Howard Avenue & Fawcett Street - southeast corner modification/bumpout

(all options include new ADA-compliant curb ramp on southwest corner)

Option 1: Two-sided Bumpout - Fawcett extension includes full STOP clearance (30' south of stop bar)

Item Description	Unit	Quantity	Unit Price	Qty Price
mobilization (discount if combined with other projects)	LS	LS	5000.00	5,000.00
maintenance of traffic (active)	hour	36	100.00	3,600.00
sawcuts in asphalt or concrete	LF	140	6.00	840.00
pavement removal & miscellaneous Class 1/1A excavation	CY	30	110.00	3,300.00
concrete curb and gutter, MoCo type "A" or "C", remove and replace	LF	120	42.00	5,040.00
concrete sidewalk and ramps, 5" depth, install or replace	SF	600	12.00	7,200.00
ADA detectable warning mats, 2' x 5' cast-in-place (yellow)	EA	2	400.00	800.00
graded aggregate base, #57 or CR-6	CY	15	85.00	1,275.00
hot-mix asphalt (HMA), surface patches up to 6" depth	SF	60	15.00	900.00
supplemental landscaping and surface restoration (incl. topsoil)	LS	LS	3000.00	3,000.00
misc. adjustments - street furniture, traffic signs, etc.	LS	LS	600.00	600.00
brick paver supplement (replaces concrete and/or landscaped areas)	SF	300	12.00	3600.00
Total Project Estimate:				\$31,555.00

Option 2: Two-sided Bumpout - Fawcett extension ends at stop bar

Item Description	Unit	Quantity	Unit Price	Qty Price
mobilization (discount if combined with other projects)	LS	LS	5000.00	5,000.00
maintenance of traffic (active)	hour	36	100.00	3,600.00
sawcuts in asphalt or concrete	LF	110	6.00	660.00
pavement removal & miscellaneous Class 1/1A excavation	CY	25	110.00	2,750.00
concrete curb and gutter, MoCo type "A" or "C", remove and replace	LF	90	42.00	3,780.00
concrete sidewalk and ramps, 5" depth, install or replace	SF	500	12.00	6,000.00
ADA detectable warning mats, 2' x 5' cast-in-place (yellow)	EA	2	400.00	800.00
graded aggregate base, #57 or CR-6	CY	12	85.00	1,020.00
hot-mix asphalt (HMA), surface patches up to 6" depth	SF	45	15.00	675.00
supplemental landscaping and surface restoration (incl. topsoil)	LS	LS	2500.00	2,500.00
misc. adjustments - street furniture, traffic signs, etc.	LS	LS	500.00	500.00
brick paver supplement (replaces concrete and/or landscaped areas)	SF	200	12.00	2400.00
Total Project Estimate:				\$27,285.00

Option 3: One-sided (Howard Ave only) bumpout - no extension on Fawcett

Item Description	Unit	Quantity	Unit Price	Qty Price
mobilization (discount if combined with other projects)	LS	LS	5000.00	5,000.00
maintenance of traffic (active)	hour	24	100.00	2,400.00
sawcuts in asphalt or concrete	LF	100	6.00	600.00
pavement removal & miscellaneous Class 1/1A excavation	CY	20	110.00	2,200.00
concrete curb and gutter, MoCo type "A" or "C", remove and replace	LF	80	42.00	3,360.00
concrete sidewalk and ramps, 5" depth, install or replace	SF	400	12.00	4,800.00
ADA detectable warning mats, 2' x 5' cast-in-place (yellow)	EA	2	400.00	800.00
graded aggregate base, #57 or CR-6	CY	10	85.00	850.00
hot-mix asphalt (HMA), surface patches up to 6" depth	SF	40	15.00	600.00
supplemental landscaping and surface restoration (incl. topsoil)	LS	LS	2000.00	2,000.00
misc. adjustments - street furniture, traffic signs, etc.	LS	LS	300.00	300.00
brick paver supplement (replaces concrete and/or landscaped areas)	SF	200	12.00	2400.00
Total Project Estimate:				\$22,910.00

by Joseph Cutro, P.E., 5/4/2018

(301) 340-3371, jcutro@verizon.net

Ordinance No. O-03-2021
Introduced: December 13, 2021
Public Hearing: January 10, 2022
Adopted: _____

AN ORDINANCE OF THE MAYOR AND TOWN COUNCIL TO AMEND CHAPTER IV, "TRAFFIC AND VEHICLES", ARTICLE 3, "TRAFFIC CONTROL", SECTION 4-302, "SPEED LIMITS IN THE TOWN OF KENSINGTON", TO REDUCE THE SPEED LIMIT ALONG TOWN MAINTAINED STREETS FROM 25 MILES PER HOUR TO 20 MILES PER HOUR.

WHEREAS, §5-201 *et seq.* of the Local Government Article, Annotated Code of Maryland, authorizes the Mayor and Town Council to adopt such ordinances as it deems necessary to assure the good government of the Town of Kensington; to protect and preserve the rights, property and privileges of the Town; to preserve peace and good order; to secure persons and property from danger and destruction; and to protect the health, comfort and convenience of Town residents; and

WHEREAS, Section 602, "Specific Powers", subsection (a)(38), "Regulations", of the Town of Kensington Charter, authorizes the Town Council to adopt by ordinance and enforce within the corporate limits of the Town, traffic and speed regulations not in conflict with the laws of the State of Maryland; and

WHEREAS, §21-803 of the Transportation Article, Annotated Code of Maryland, authorizes the Town, if it determines on the basis of an engineering and traffic investigation that any maximum speed limit on roadways in the Town is greater than reasonable or safe under existing conditions, to establish a reasonable and safe maximum speed limit for said roadways; and

WHEREAS, the Mayor and Council have determined that 25 miles per hour on Town roadways is greater than reasonable or safe under existing conditions, and that the reasonable and safe maximum speed for Town roadways, except in school zones, is 20 mph; and

WHEREAS, the Mayor and Town Council have determined that it is in the public interest and necessary for the protection of public health, safety, and welfare, and the preservation of peace and good order, to repeal and re-enact Article 3, "Traffic Control", Section 4-302, "Speed Limits in Town of Kensington", of the Town Code to reduce the general speed limit in the Town to 20 mph.

APS
 [Brackets]
 Asterisks * * *
 CAPS
 [Brackets]

: Indicate matter added to existing law.
 : Indicate matter deleted from law.
 : Indicate matter remaining unchanged in existing law but not set forth in Ordinance
 : Indicate matter added in amendment
 : Indicate matter deleted in amendment

NOW THEREFORE, the Mayor and Town Council of Kensington does hereby adopt the following ordinance:

Chapter IV

TRAFFIC AND VEHICLES

Article 3. Traffic Control

Section 4-302. Speed Limits in Town of Kensington

No motor vehicle shall be operated upon any street or other public way within the jurisdiction of the Town at a rate of speed exceeding ~~[twenty-five (25)]~~ **TWENTY (20)** miles per hour or fifteen (15) miles per hour in school zones.

AND BE IT FURTHER ORDAINED AND ORDERED, this ____ day of February, 2022, by the Mayor and Town Council of Kensington, acting under and by virtue of the authority granted to it by §5-201 *et seq.* of the Local Government Article, Annotated Code of Maryland, and Article VI, “Powers of the Council”, Section 601, “General Powers” of the Town Charter that:

(1) If any part of provision of this ordinance is declared by a court of competent jurisdiction to be invalid, the part of provision held to be invalid shall not affect the validity of the ordinance as a whole or any remaining part thereof; and

(2) This ordinance shall take effect on the ____ day of July, 2022, provided the following:

(a) Posted at Town Hall by the next business day following introduction; and

(b) Posted on the official Town website; and

(c) Sent to those persons listed on the official Town email list/mail subscription service; and

(d) Published once prior to the public hearing in the Town newsletter or sent by substitute regular mail to newsletter circulation addresses.

INTRODUCED by the Mayor and Town Council of Kensington, Maryland at the regular public meeting assembled on the ____ day of December, 2021.

ADOPTED by the Mayor and Town Council of Kensington, Maryland at the regular public meeting assembled on the ____ day of February, 2022.

APS

[Brackets]

Asterisks * * *

CAPS

[Brackets]

: Indicate matter added to existing law.

: Indicate matter deleted from law.

: Indicate matter remaining unchanged in existing law but not set forth in Ordinance

: Indicate matter added in amendment

: Indicate matter deleted in amendment

EFFECTIVE the ____ day of July 2022.

ATTEST:

TOWN OF KENSINGTON, MARYLAND

By: _____
Susan C. Engels, Clerk – Treasurer

Tracey C. Furman, Mayor

APPROVED AS TO FORM:

Suellen M. Ferguson, Town Attorney

APS

[Brackets]

Asterisks * * *

CAPS

[Brackets]

: Indicate matter added to existing law.

: Indicate matter deleted from law.

: Indicate matter remaining unchanged in existing law but not set forth in Ordinance

: Indicate matter added in amendment

: Indicate matter deleted in amendment